



3500 BAYOU LOUISE LN
SARASOTA • FL
DUE DILIGENCE PACKET

AUCTION WITHOUT RESERVE
MONDAY, APRIL 14 • 11 AM EDT • ON SITE

ELITE  AUCTIONS

LUXURY WATERFRONT LIVING

Discover an extraordinary opportunity to own a breathtaking waterfront estate on the coveted north end of Siesta Key. Perfectly located along Big Pass at the gateway to the Gulf of America, this timeless sanctuary blends elegance, craftsmanship, and panoramic views to create an unparalleled island retreat.

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 - Brokers 2.5%

Auction Without Reserve:
MONDAY, APRIL 14 • 11 AM EDT • ON SITE





www.exactalands.com | office: 866.735.1916 | fax: 866.744.2882



PROPERTY ADDRESS:
3500 BAYOU LOUISE LANE, SARASOTA, FLORIDA 34242

SURVEY NUMBER: 2101.1865

DATE OF SURVEY: 01/26/21

FIELD WORK DATE: 1/20/2021

REVISION DATE(S):
(REV.1 1/26/2021)

POINTS OF INTEREST
NONE VISIBLE

SURVEYORS CERTIFICATE



C. BOYD ALLEN
State of Florida Professional Surveyor and Mapper
License Number 3932
Exacta Land Surveyors, LLC | LB# 8291

I hereby certify that this Survey of the lands described hereon was made under my direct supervision, and to the best of my knowledge and belief is a true and accurate representation of said lands and meets the Standards of Practice set forth in Chapter 5J-15.050 through 5J-15.053, Florida Administrative Code, pursuant to section 472.027, Florida Statutes. This survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper, except when the electronic signature and seal of a Florida licensed surveyor and mapper is affixed hereto.

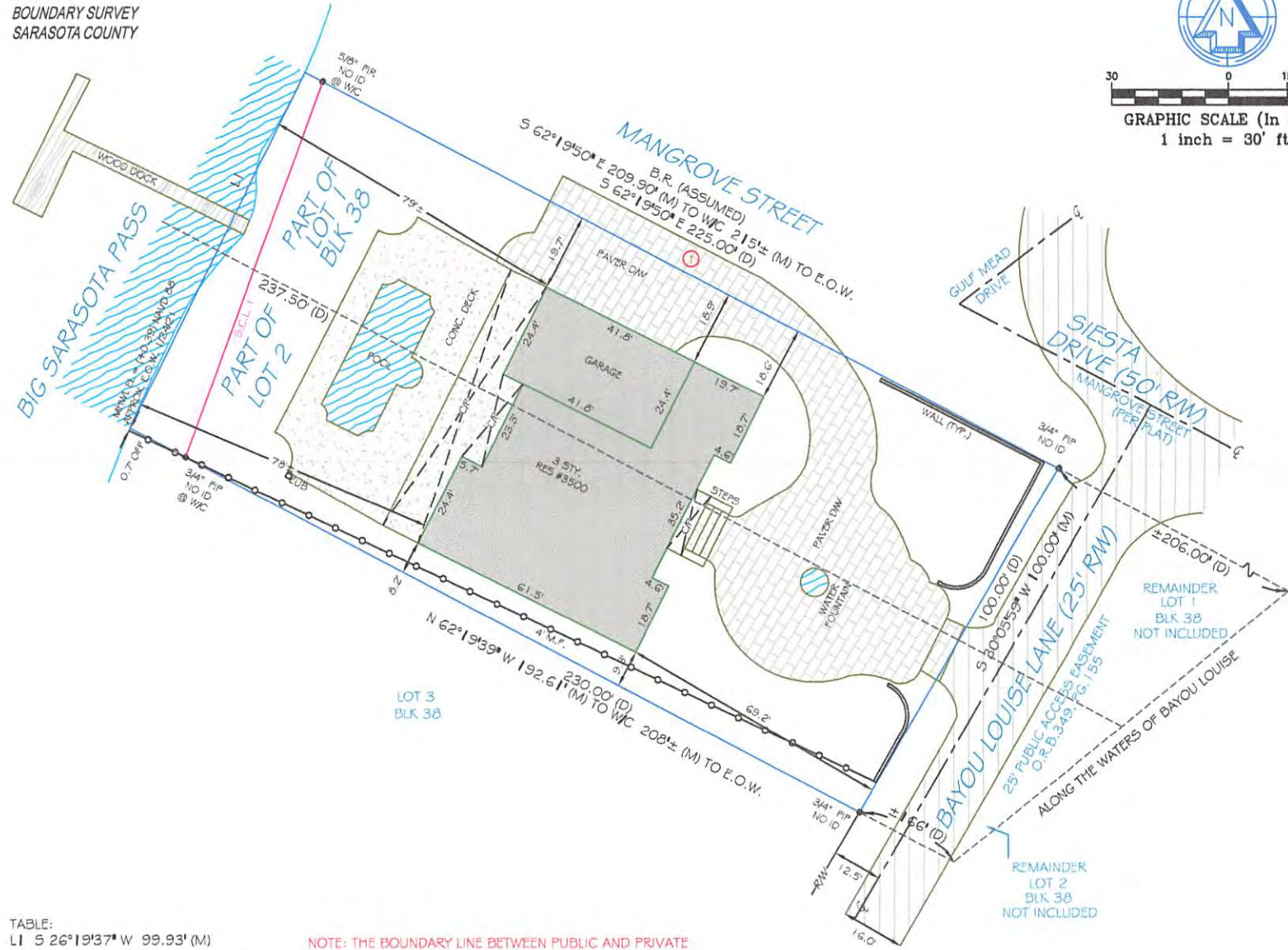


Exacta Land Surveyors, LLC
LSP 8291
o: 866.735.1916 | f: 866.744.2882
11940 Fairway Lakes Drive, Suite 1 | Fort Myers, FL 33913



AFFILIATE MEMBERS

2101.1865
BOUNDARY SURVEY
SARASOTA COUNTY



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

TABLE:
LI S 26°19'37" W 99.93' (M)
(PROPERTY MEANDERS ALONG MHWL)

SURVEY CLOSURE LINE:
L N 20°13'30" E 100.75'

SURVEYOR'S NOTES:
FENCE OWNERSHIP NOT DETERMINED.

NOTE: THE BOUNDARY LINE BETWEEN PUBLIC AND PRIVATE OWNERSHIP IS DEFINED BY FLORIDA STATUTE FS 177.28 AS THE MEAN HIGH WATER ELEVATION. THE BOUNDARY SHOWN HEREON IS AS MEASURED TO EDGE OF WATER ON 1/24/2021 AND MAY NOT BE THE MEAN HIGH WATER LINE. MHW ELEVATION FOR THIS PROPERTY IS 0.39, NAVD88, ESTABLISHED BY FLDEP ON 1/26/2021.

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

PROPERTY ADDRESS:
3500 BAYOU LOUISE LANE, SARASOTA, FLORIDA 34242

SURVEY NUMBER: 2101.1865

CERTIFIED TO:
JERALD KAMIEL & KATHLEEN ANNE KAMIEL; BAND, GATES, & DRAMIS PL;
TITLE RESOURCES GUARANTY COMPANY; WELLS FARGO BANK, N. A.

DATE OF SURVEY: 01/26/21

BUYER: JERALD KAMIEL & KATHLEEN ANNE KAMIEL

LENDER: WELLS FARGO BANK, N. A.

TITLE COMPANY: BAND, GATES, & DRAMIS PL

TITLE COMMITMENT: CLIENT FILE NO: ELS-2021-60

LEGAL DESCRIPTION:
THAT PORTION OF LOTS 1 AND 2, BLOCK 38, LYING WESTWARD OF THE CENTERLINE OF BAYOU LOUISE LANE, REVISED PLAT OF SIESTA, AS RECORDED IN PLAT BOOK A, PAGE 38 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA,

FLOOD ZONE INFORMATION:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 11). THIS PROPERTY WAS FOUND IN THE CITY OF SARASOTA, COMMUNITY NUMBER 125150, PANEL NUMBER 0141 DATED 11/04/16.

- GENERAL SURVEYORS NOTES:**
- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
 - The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
 - If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
 - This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
 - Alterations to this survey map and report by other than the signing surveyor are prohibited.
 - Dimensions are in feet and decimals thereof.
 - Any FEMA food zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
 - Unless otherwise noted "SIRC" indicates a Set Iron Rebar with a Cap stamped LB#8291, a minimum half inch in diameter and eighteen inches long.
 - If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Chapter 5J17.062 (3) of the Florida Administrative Code and Florida Statute 472.025. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor.
 - The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
 - Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
 - Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
 - The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
 - Pursuant to F.S. 558.0035, an individual employee or agent may not be held individually liable for negligence.
 - Due to varying construction standards, house dimensions are approximate and are not intended to be used for new construction or planning.

SURVEYORS LEGEND:

LINETYPES	ABBREVIATIONS	FIPIC - Found Iron Pipe & Cap	PSM - Professional Surveyor & Mapper
Boundary Line	(C) - Calculated	FIR - Found Iron Rod	PT - Point of Tangency
Center Line	(D) - Deed	FIRC - Found Iron Rod & Cap	PUE - Public Utility Easement
Chain Link or Wire Fence	(F) - Field	FN - Found Nail	R - Radius or Radial
Easement	(M) - Measured	FN&D - Found Nail & Disc	R/W - Right of Way
Edge of Water	(P) - Plat	FRRSPK - Found Rail Road Spike	RES - Residential
Iron Fence	(S) - Survey	GM - Gas Meter	RGE - Range
Overhead Lines	A/C - Air Conditioning	ID - Identification	ROE - Roof Overhang Easement
Structure	AE - Access Easement	IE/EE - Ingress/Egress Easement	RP - Radius Point
Survey Tie Line	ANE - Anchor Easement	ILL - Illegible	S/W - Sidewalk
Vinyl Fence	ASBL - Accessory Setback Line	INST - Instrument	SBL - Setback Line
Wall or Party Wall	B/W - Bay/Box Window	INT - Intersection	SCL - Survey Closure Line
Wood Fence	BC - Block Corner	IRRE - Irrigation Easement	SCR - Screen
	BFP - Backflow Preventer	L - Length	SEC - Section
	BLDG - Building	LAE - Limited Access Easement	SEP - Septic Tank
	BLK - Block	LB# - License No. (Business)	SEW - Sewer
	BM - Benchmark	LBE - Limited Buffer Easement	SIRC - Set Iron Rod & Cap
	BR - Bearing Reference	LE - Landscape Easement	SMWE - Storm Water Management Easement
	BRL - Building Restriction Line	LME - Lake/Landscape Maintenance Easement	SN&D - Set Nail and Disc
	BSMT - Basement	LS# - License No. (Surveyor)	SQFT - Square Feet
	C - Curve	MB - Map Book	STL - Survey Tie Line
	C/L - Center Line	ME - Maintenance Easement	STY - Story
	C/P - Covered Porch	MES - Mitered End Section	SV - Sewer Valve
	C/S - Concrete Slab	MF - Metal Fence	SWE - Sidewalk Easement
	CATV - Cable TV Riser	MH - Manhole	TBM - Temporary Bench Mark
	CB - Concrete Block	NR - Non-Radial	TEL - Telephone Facilities
	CH - Chord Bearing	NTS - Not to Scale	TOB - Top of Bank
	CHIM - Chimney	NAVD88 - North American Vertical Datum 1988	TUE - Technological Utility Easement
	CLF - Chain Link Fence	NGVD29 - National Geodetic Vertical Datum 1929	TWP - Township
	Central Angle or Delta	OG - On Ground	TX - Transformer
	Common Ownership	ORB - Official Records Book	TYP - Typical
	Control Point	ORV - Official Record Volume	UE - Utility Easement
	Catch Basin	O/A - Overall	UG - Underground
	Elevation	O/S - Offset	UP - Utility Pole
	Fire Hydrant	OFF - Outside Subject Property	UR - Utility Riser
	Find or Set Monument	OH - Overhang	VF - Vinyl Fence
	Guywire or Anchor	OHL - Overhead Utility Lines	W/C - Witness Corner
	Manhole	ON - Inside Subject Property	W/F - Water Filter
	Tree	P/E - Pool Equipment	WF - Wood Fence
	Utility or Light Pole	PB - Plat Book	WM - Water Meter/Valve Box
	Well	PC - Point of Curvature	WV - Water valve
		PCC - Point of Compound Curvature	
		PCP - Permanent Control Point	
		PI - Point of Intersection	
		PLS - Professional Land Surveyor	
		PLT - Planter	
		POB - Point of Beginning	
		POC - Point of Commencement	
		PRC - Point of Reverse Curvature	
		PRM - Permanent Reference Monument	

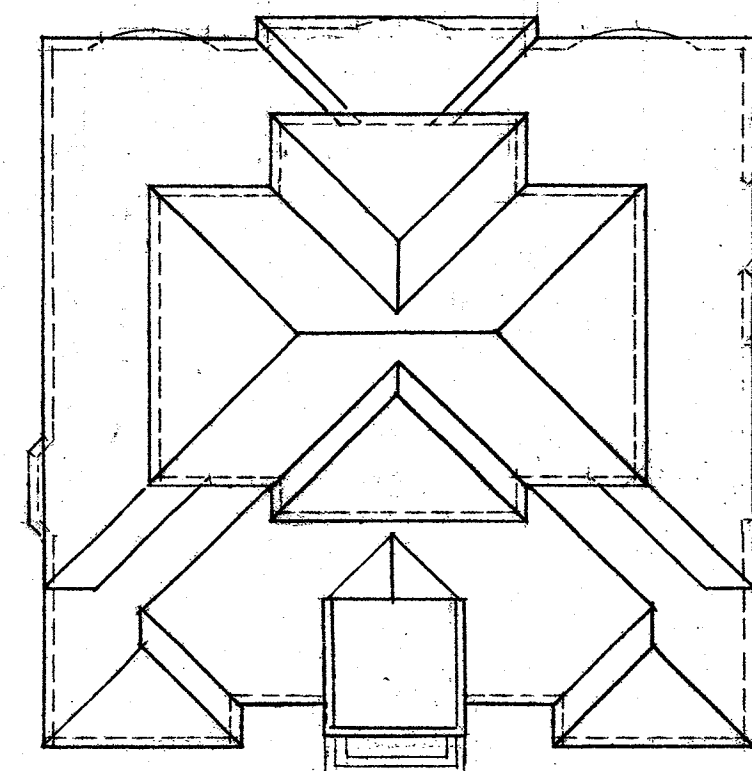
JOB SPECIFIC SURVEYOR NOTES:
THE ASSUMED BEARING REFERENCE OF S62°19'50"E IS BASED ON THE NORTHERLY PROPERTY LINE OF THAT PORTION OF LOT 1, BLOCK 38, LYING WEST OF BAYOU LOUISE LANE, REVISED PLAT OF SIESTA, AS RECORDED IN PLAT BOOK A, PAGE 38, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

EXACTA
Land Surveyors, LLC

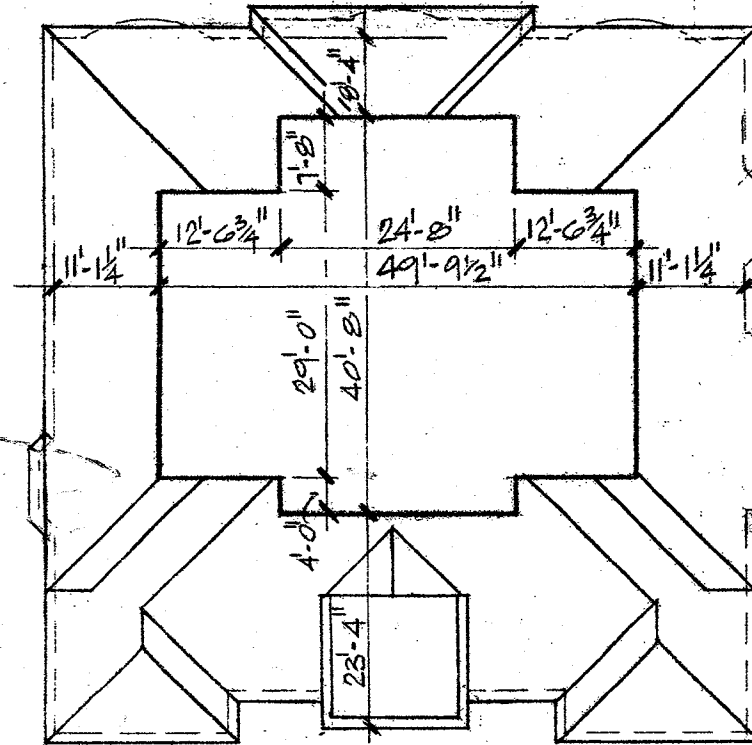
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11940 Fairway Lakes Drive, Suite 1 | Fort Myers, FL 33913

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

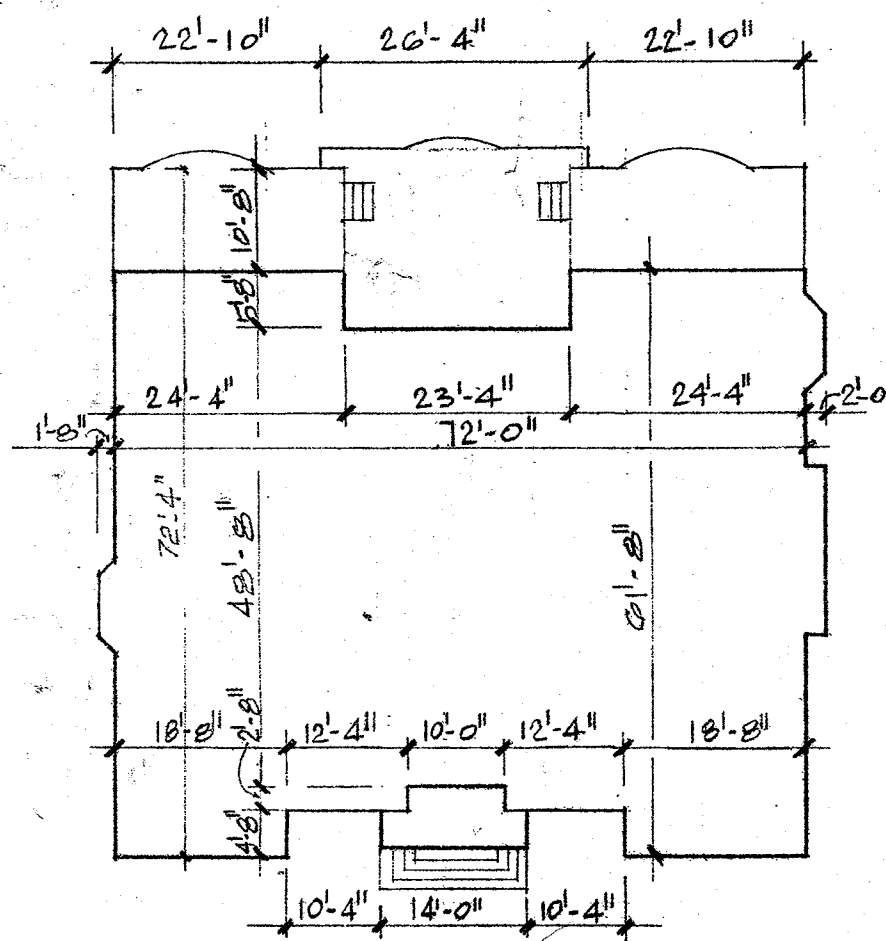
INDEX OF DRAWINGS.	
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2	DRAINAGE PLAN & NOTES.
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6	SECOND FLOOR PLAN.
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27	SECOND FLOOR ELECTRICAL PLAN.



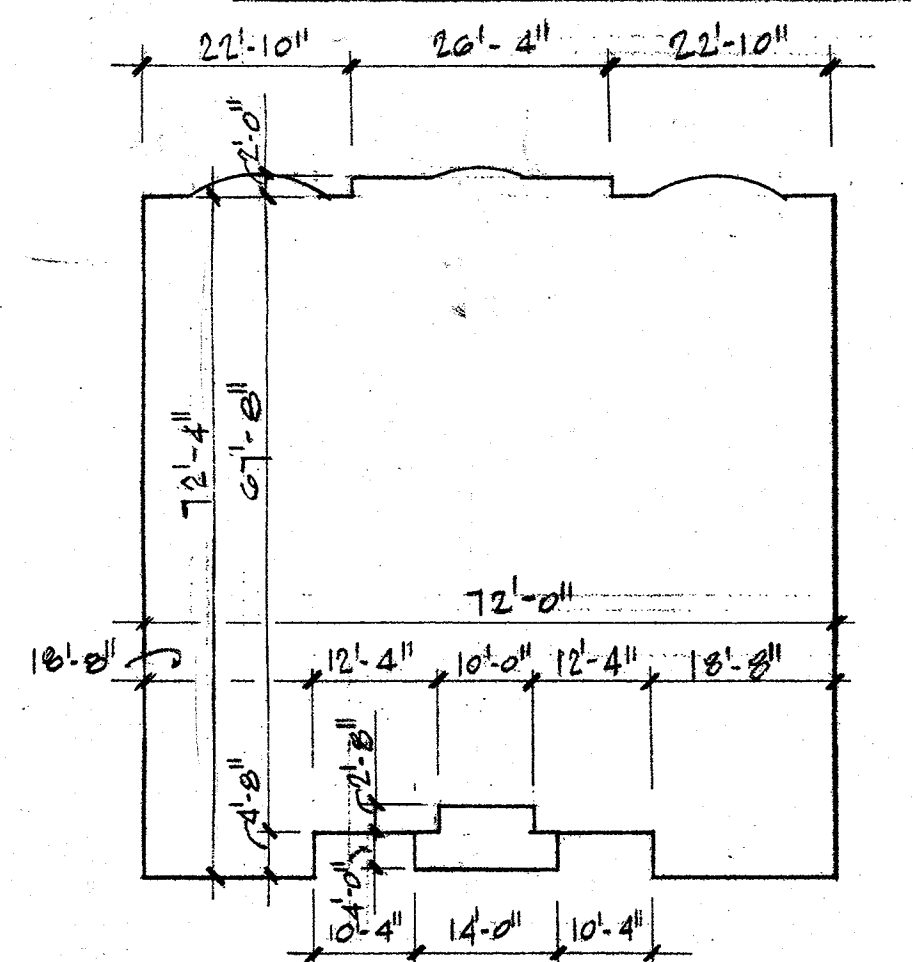
ROOF PLAN SCALE: 1" = 20'



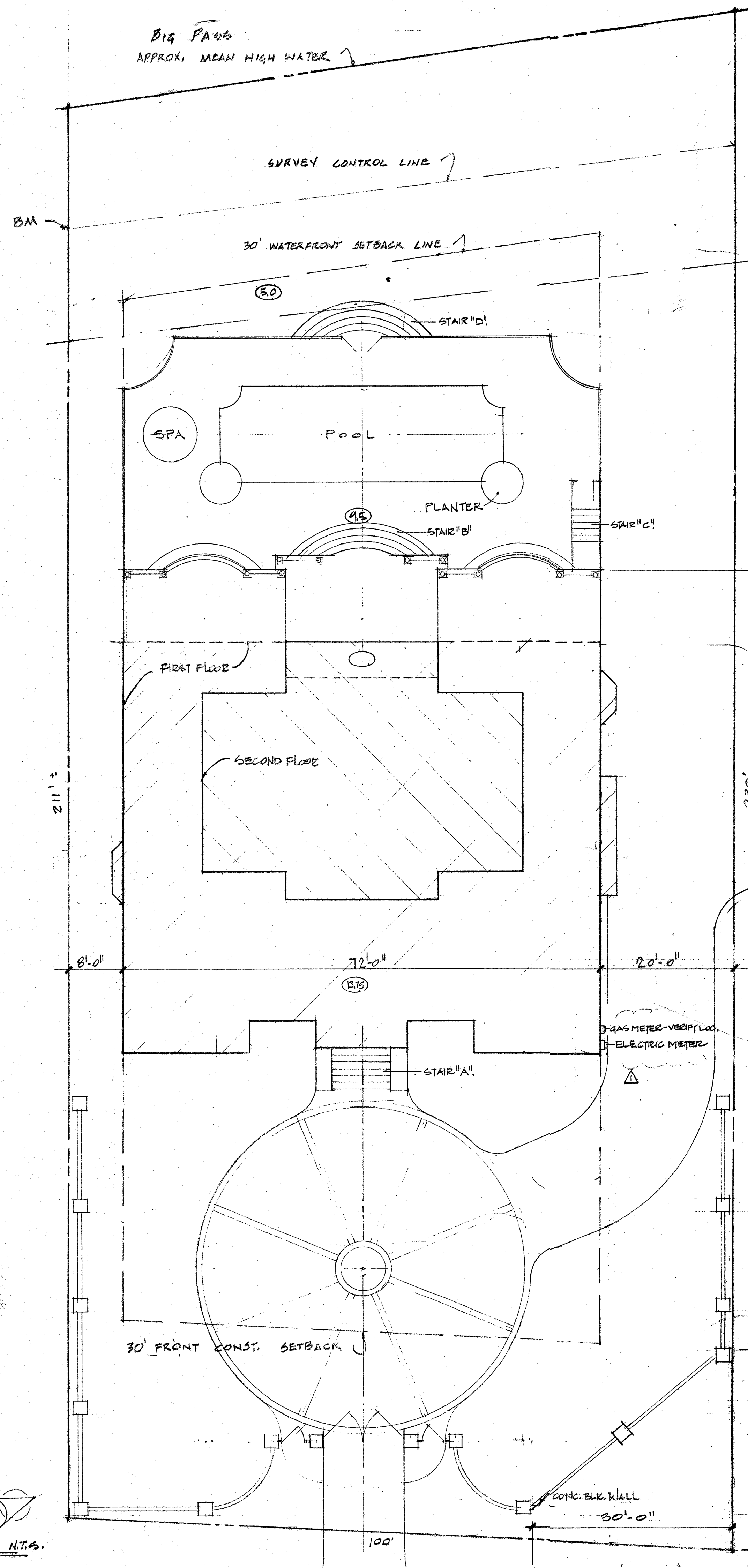
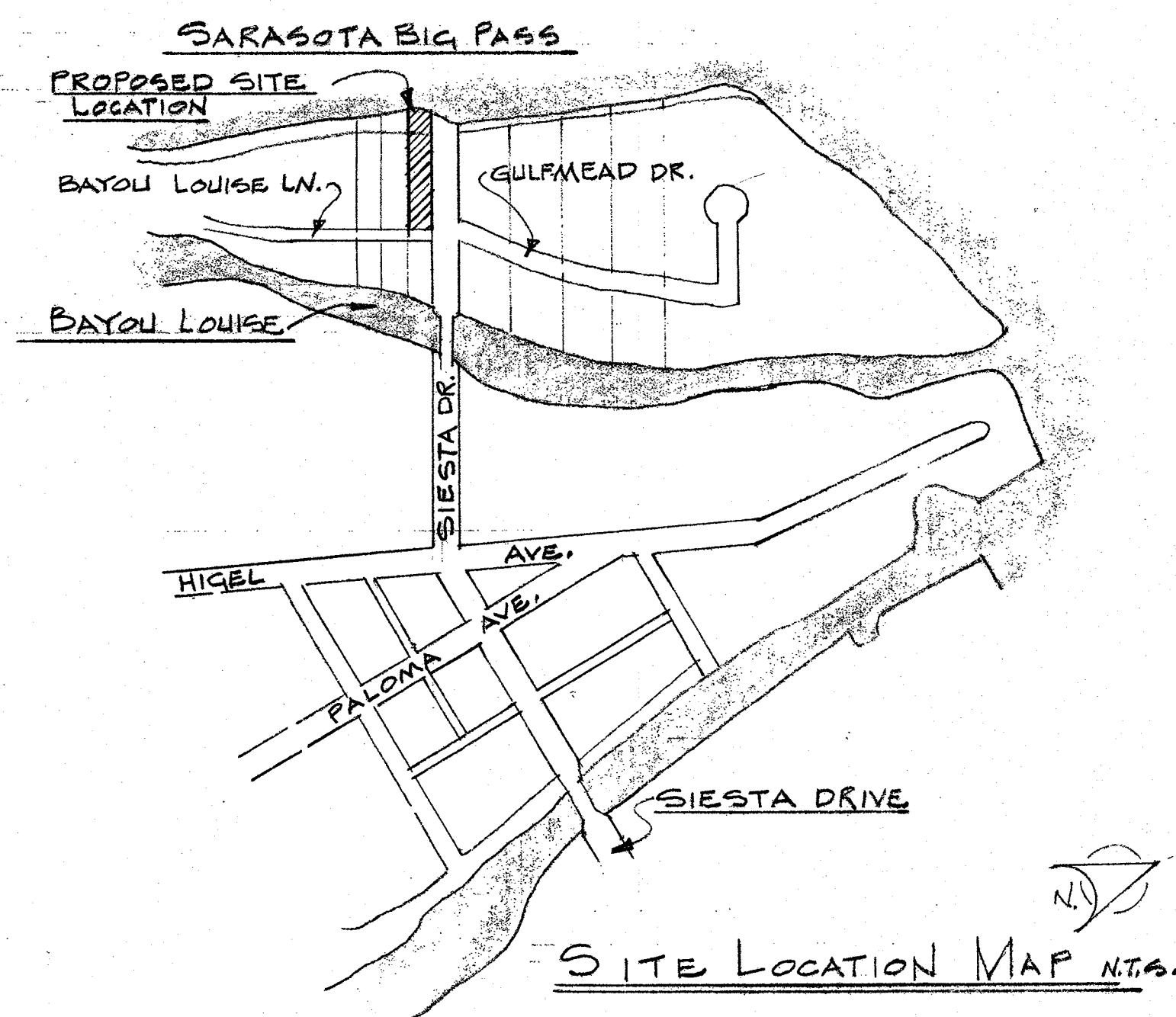
SECOND FLOOR OUTLINE SCALE: 1" = 20'



FIRST FLOOR OUTLINE SCALE: 1" = 20'



FOUNDATION OUTLINE SCALE: 1" = 20'



DESIGN LOADS (BASED ON 1997 SECC):
INTERIOR FLOOR: LIVE LOAD - 40 P.S.F.
DEAD LOAD - 20 P.S.F.
TOTAL: 60 P.S.F.

ROOF: LIVE LOAD - 21 P.S.F.
DEAD LOAD - 50 P.S.F.
TOTAL: 71 P.S.F.

WIND VELOCITY: 110 MPH (BASED ON SECC-STD-10-97)
HORIZONTAL PRESSURE: 35 P.S.F.
SOIL BEARING CAPACITY: 2000 P.S.F.

ZONING: RSP-1
SETBACKS: FRONT - 30'
SIDES - 8' / 12' OR 20'
REAR - 15'
WATER - 30'

LOT: MIN. 15,000 SQ. FT.
ACTUAL: 22,025 SQ. FT.
COVERAGE: MAX. - 30%
ACTUAL - 23%
MIN. LOT WIDTH: 100'
MAX. HEIGHT ABOVE B.F.E.: 35'
FOOTPRINT: 5,225 SQ. FT.

SQUARE FOOTAGE DATA:
AIR CONDITIONED AREA:
GARAGE LEVEL: 410 SQ. FT.
FIRST FLOOR: 4102 SQ. FT.
SECOND FLOOR: 1702 SQ. FT.
TOTAL: 5974 SQ. FT.
NON-AIR CONDITIONED AREA:
GARAGE: 1034 SQ. FT.
PORTICO: 50 SQ. FT.
REAR LOGGIA: 187 SQ. FT.
GRAND TOTAL: 8251 SQ. FT.

DESCRIPTION:
THAT PORTION OF LOTS 1 AND 2, BLOCK 38, RECORDED PLAT OF SARASOTA, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 38 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING WESTWARD OF BATOU LOUISE LANE.

NOTE: SITE PLAN INFORMATION TAKEN FROM A BOUNDARY SURVEY BY ROBINSON LAND SURVEYING, INC. DATED MAY 21, 2001.

- PROPOSED SCOPE OF WORK:
1. NEW CONSTRUCTION OF 2-STORY SINGLE FAMILY RESIDENCE (FIRST FLOOR CONG. BLOCK, SECOND FLOOR WOOD FRAME) WITH 2-CAR GARAGE, REAR LOGGIA & SWIMMING POOL.
 2. ALL UTILITIES TO BE UNDERGROUND.
 3. WATER SERVICE ENTRY - CONTRACTOR TO PROVIDE BACKFLOW PREVENTER & CHECK VALVE AS REQ'D.
 4. THE CONTRACTOR TO OBTAIN SEPARATE PERMIT FOR WORK IN THE RIGHT-OF-WAY.

REVISION -

REVISION

SITE PLAN. SCALE: 1" = 10'

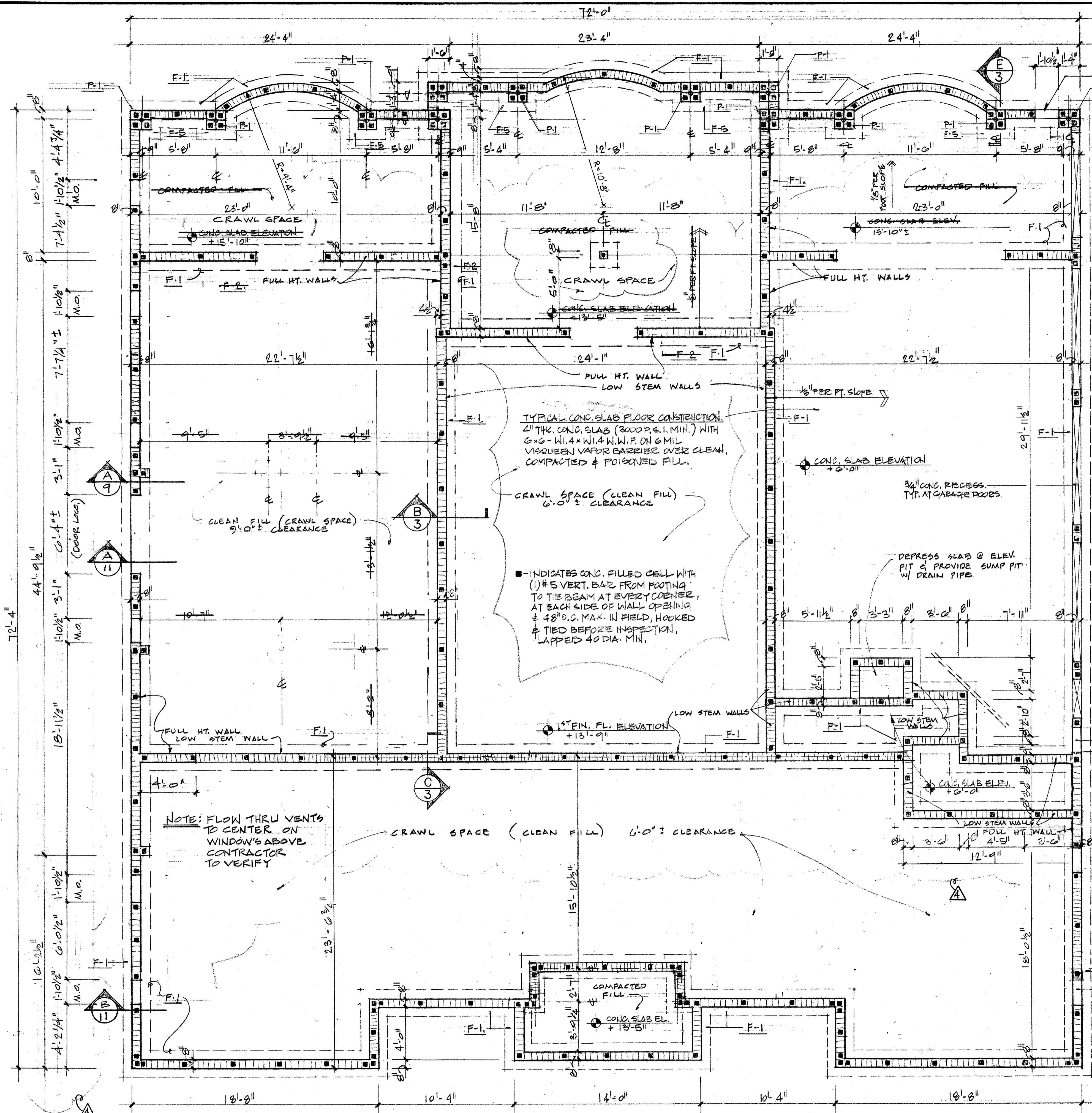
REVISIONS:
 (01.08.02) PER CITY OF SARASOTA BLDG. ZON.

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537 S. PINEAPPLE AVENUE, SARASOTA, FLORIDA 34236 (941) 565-9284 FAX (941) 565-8725

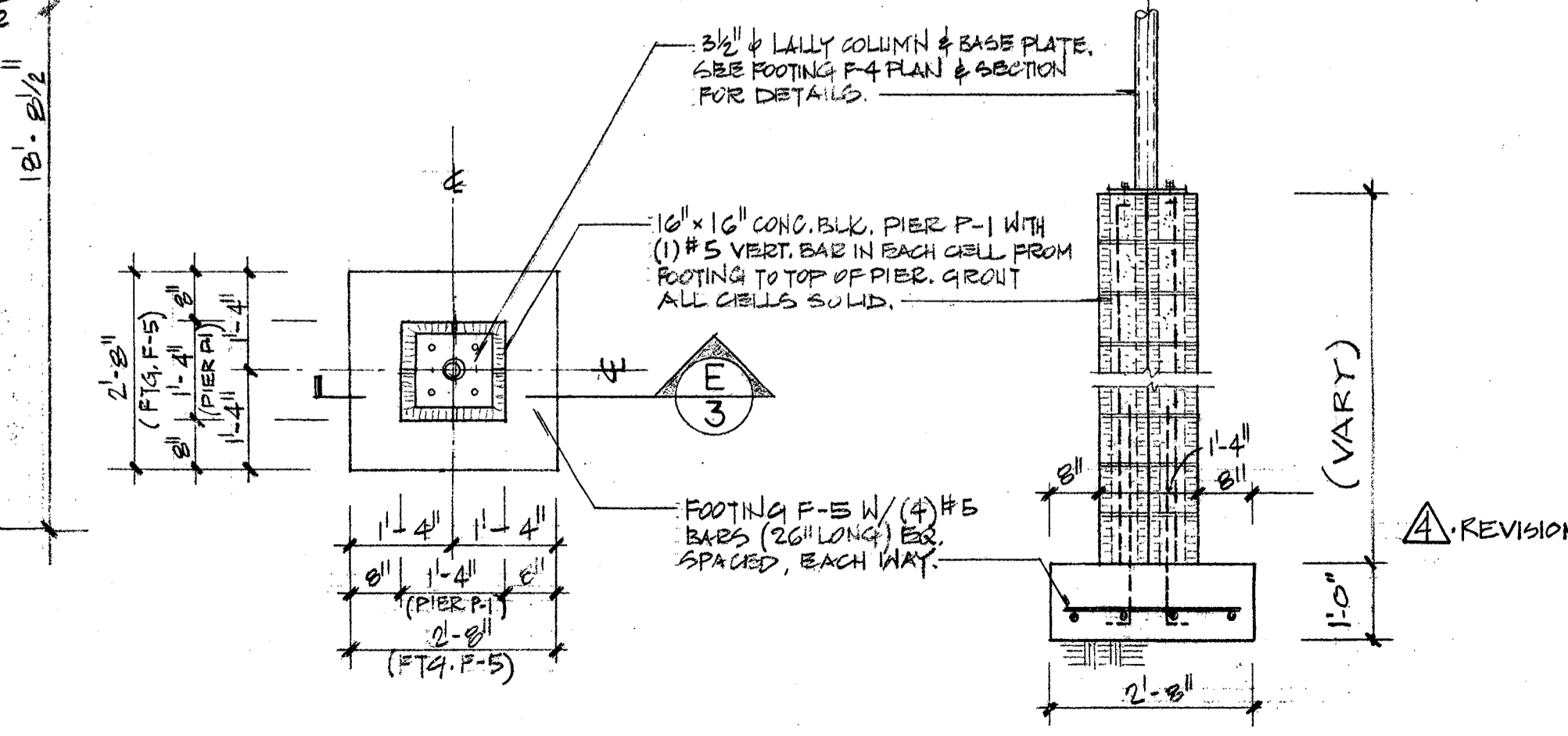
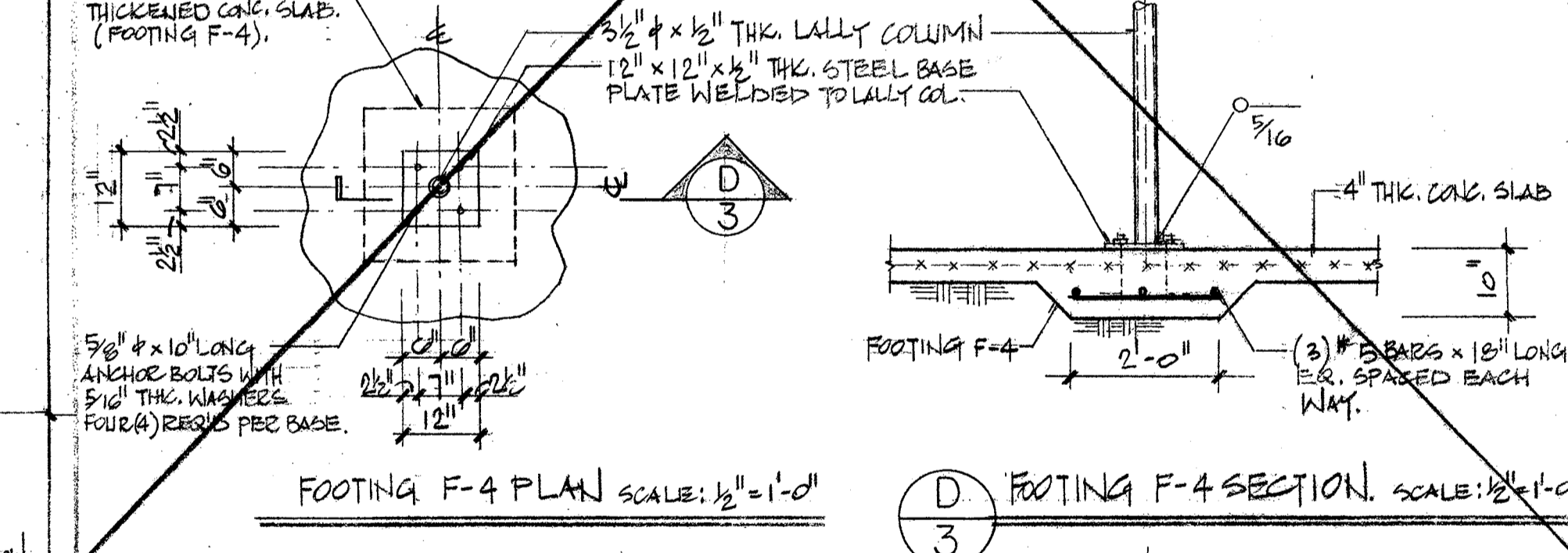
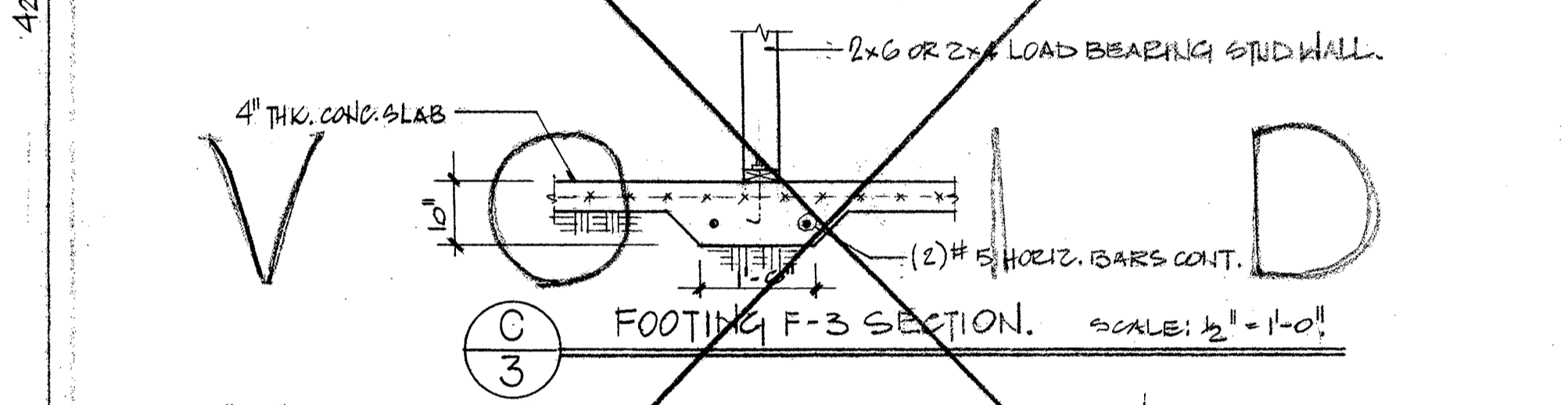
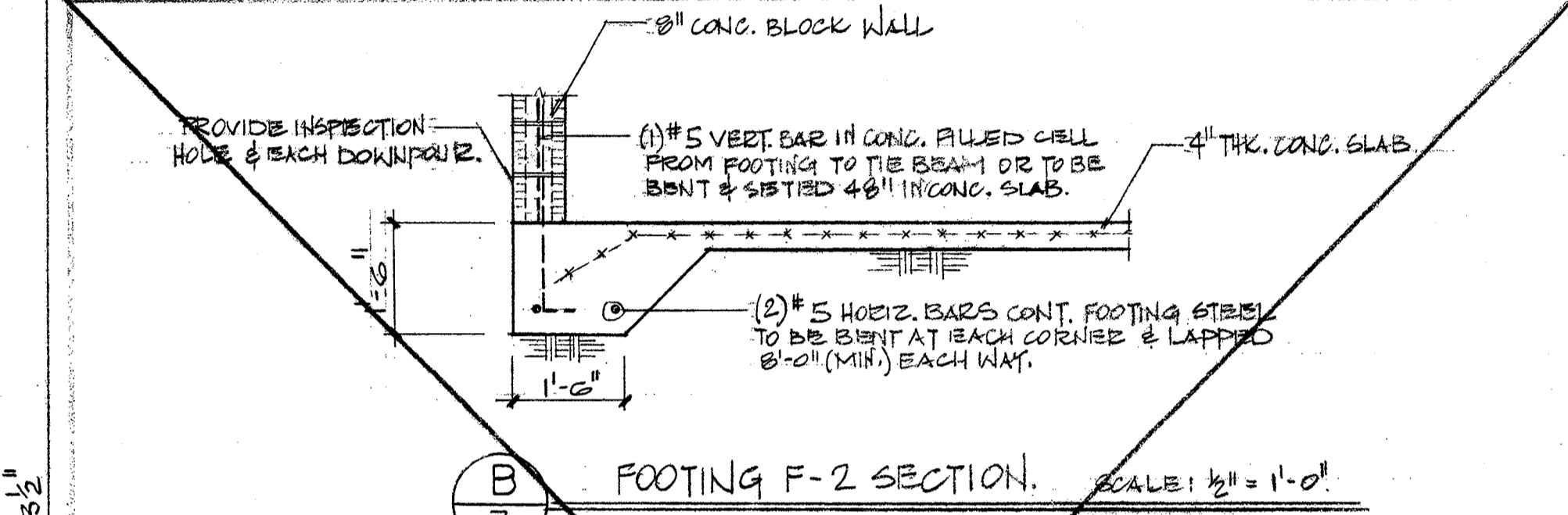
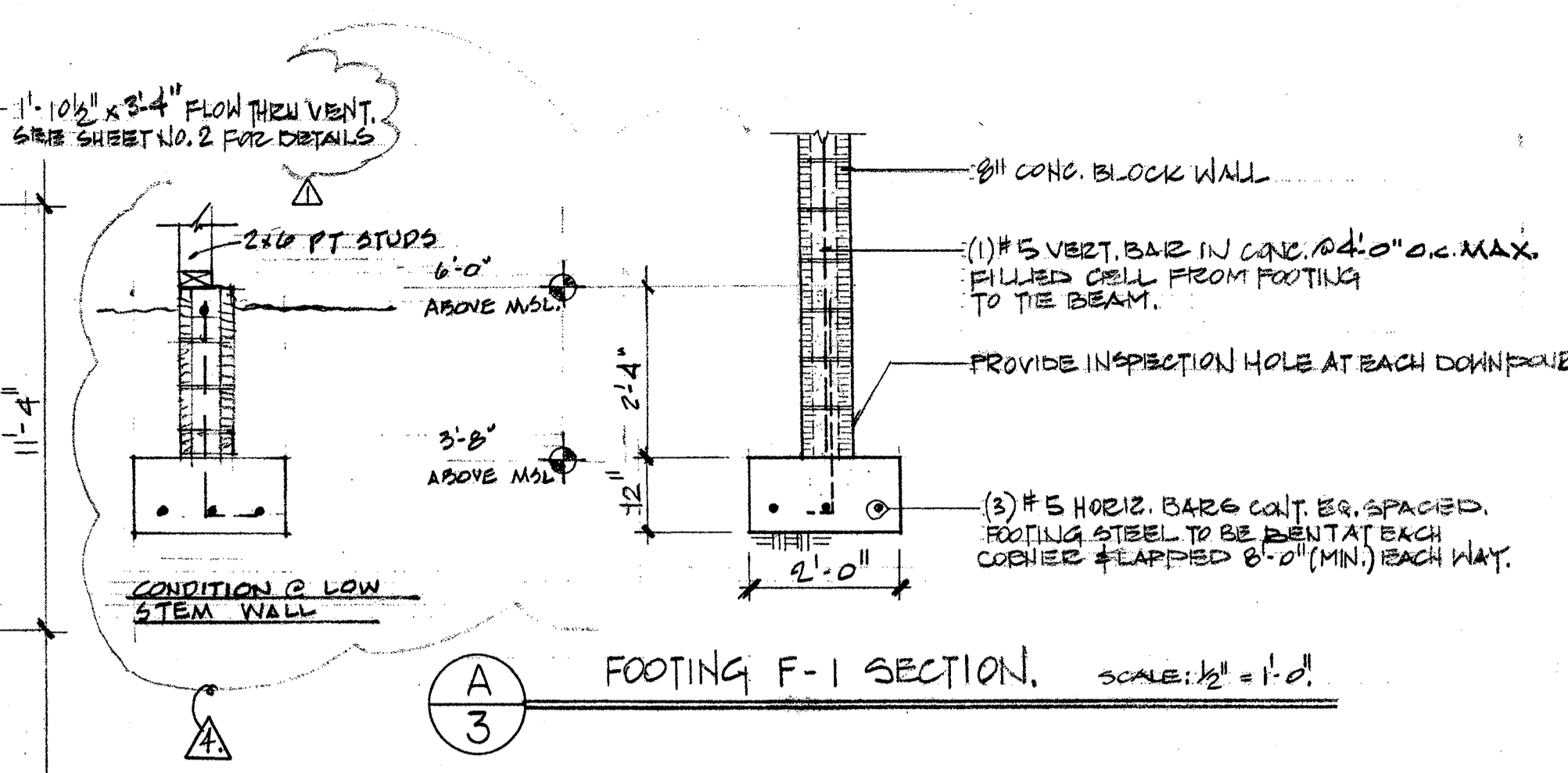
PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE:
10-31-01
1-8-02
1-28-02

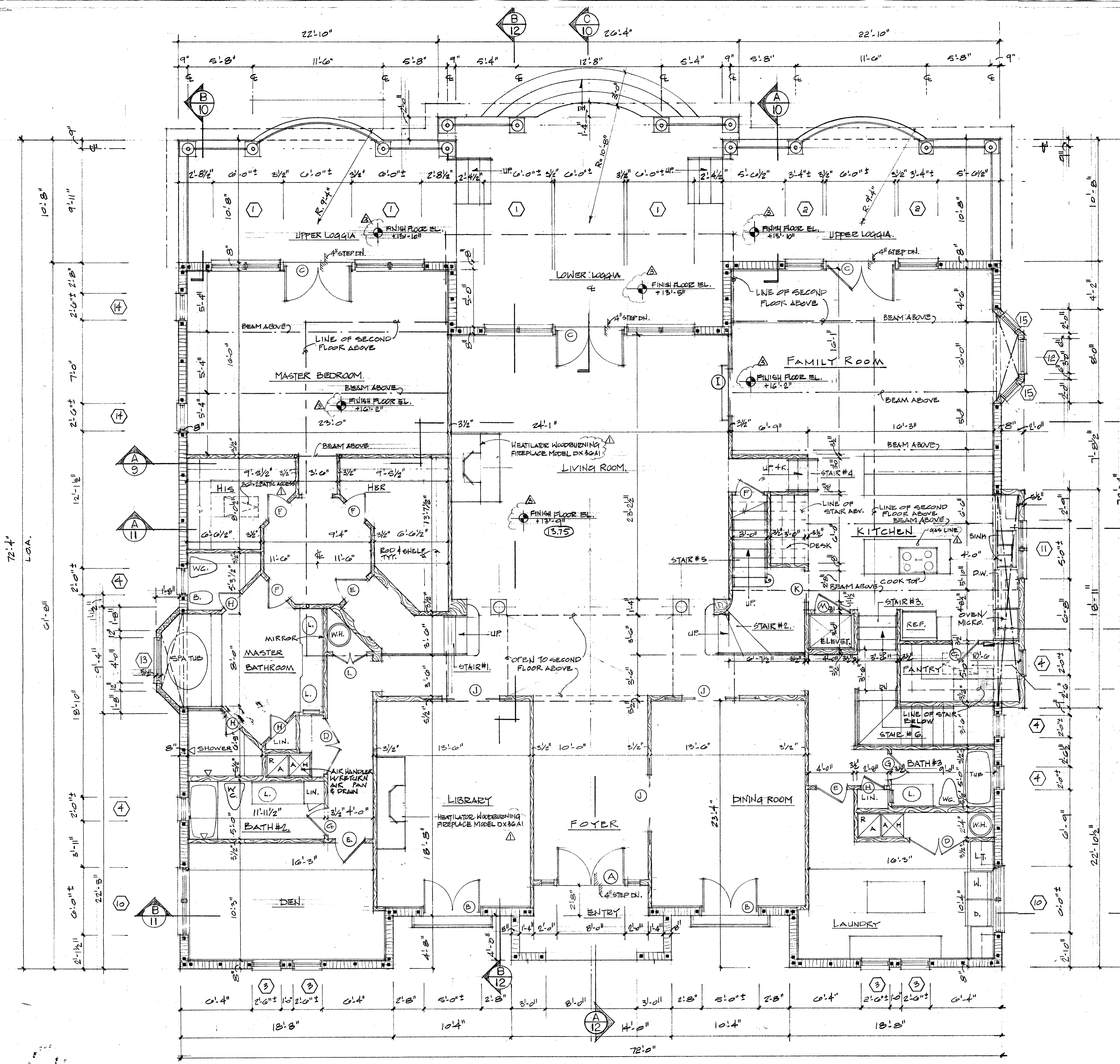
SHEET:
1 OF 27



NOTES:
 1. PROVIDE #5 BAR ELECTRICAL GROUND TO FOOTING STEEL.
 2. FOR TEMPORARY EXTERIOR FOUNDATIONAL STEM WALL SUPPORT DETAIL SEE DWG. NO. 4.
FOUNDATION PLAN. SCALE: $\frac{1}{4}'' = 1'-0''$



REVISIONS:
 (1) (08-02) PER CITY OF SARASOTA BLDG. ZON.



- GENERAL NOTES:**
1. THE OWNER AND/OR THE CONTRACTOR SHALL VERIFY ALL DETAILS, DIMENSIONS & EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
 2. ALL BEARING WOOD HEADERS ARE TO BE 2-2x12^{1/2} WITH 1/2" PLYWOOD FLITCH PLATE UNLESS NOTED OTHERWISE.
 3. BUILDING INSULATION SHALL BE AS FOLLOWS:
 CONC. BLOCK WALLS : R-11 F.G. (2x4 STUD WALL)
 FRAME WALLS : R-19.5 F.G. (2x6 STUD WALL)
 R-22 F.G. (2x8 STUD WALL)
 R-30 F.G.
- CEILING:**
4. ALL SLIDING GLASS DOORS / PRESH OPEN DOORS ARE TO HAVE TEMPERED GLASS. ALL GLASS WITHIN 24" OF A DOOR OPENING SHALL BE TEMPERED AS WELL.
 5. WHEN RIGID FRAME IS REQUIRED PROVIDE VERTICAL BARS & GROUT ALL RIGID FRAME PIECE CORERS SOLID.
 6. PROVIDE CONC. FILLED CELL BENEATH ALL GIRDER TRUSSES.
 7. DRYER SHALL BE VENTED TO THE OUTSIDE WITH NON-SCREENED METAL VENT W/ BACK-DRAFT DAMPER.
 8. WATER HEATERS ARE TO BE ELECTRIC.
 9. AIR CONDITIONING TO BE A HEAT PUMP.
 10. PROVIDE #5 BARE ELECTRICAL GROUND TO THE ROOFING STEEL.
 11. THE CONTRACTOR TO VERIFY SIZES OF ALL MASONRY WINDOWS & DOOR OPENINGS.
 12. THE HOUSE HAS BEEN DESIGNED TO MEET SST 10-97 STANDARDS FOR 110 M.P.H. WIND REQUIREMENTS.

1/2" PLYWOOD DIAPHRAM WITH 8d NAILS @ 12" O.C. MAX. AT CEILING FRAMING. NAILING AT CHORDS & BLOCKING TO BE 8d @ 6" O.C. TYPICAL AT BAYS.

36" x 22" ATTIC ACCESS.

NOTE: FOR INTERIOR STAIRS DETAIL SEE DRAWING NO. 13.

REVISIONS:

△ (01.08.02) PER CITY OF SARASOTA BLDG. ZON.

△ (01.28.02) PER CITY OF SARASOTA BLDG. ZON.

FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

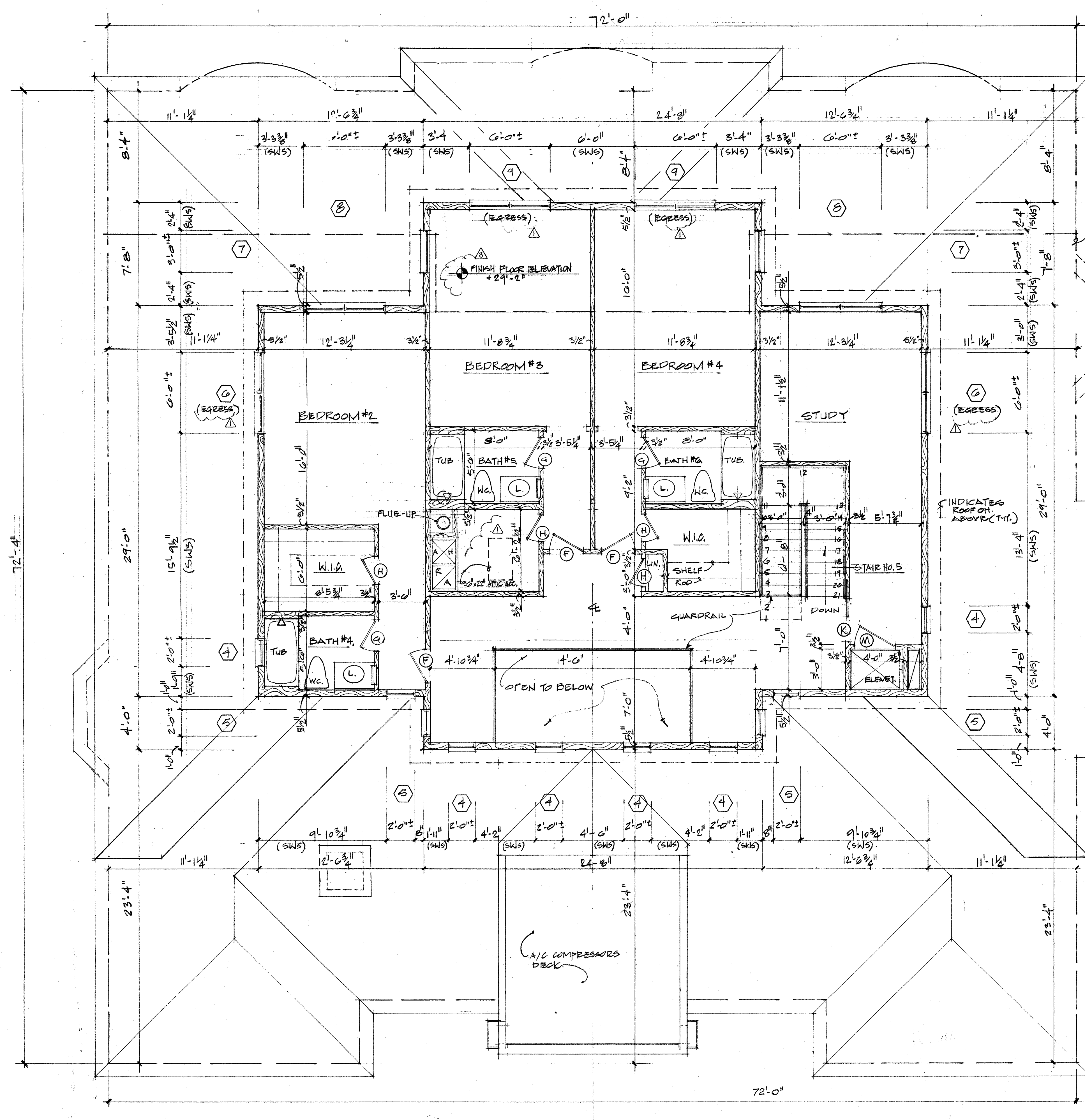
WM. THORNING LITTLE, ARCHT., P.A.
 537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

WM. Thorning Little, Archt., P.A.
 537 S. Pineapple Avenue, Sarasota, Florida 34236
 To the best of my knowledge, these plans and specifications comply with all applicable codes, laws, ordinances, rules and regulations of the State of Florida, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
 MR. & MRS. PAUL MOBLEY
 3500 PAYOU LOUISE LANE SARASOTA, FLORIDA

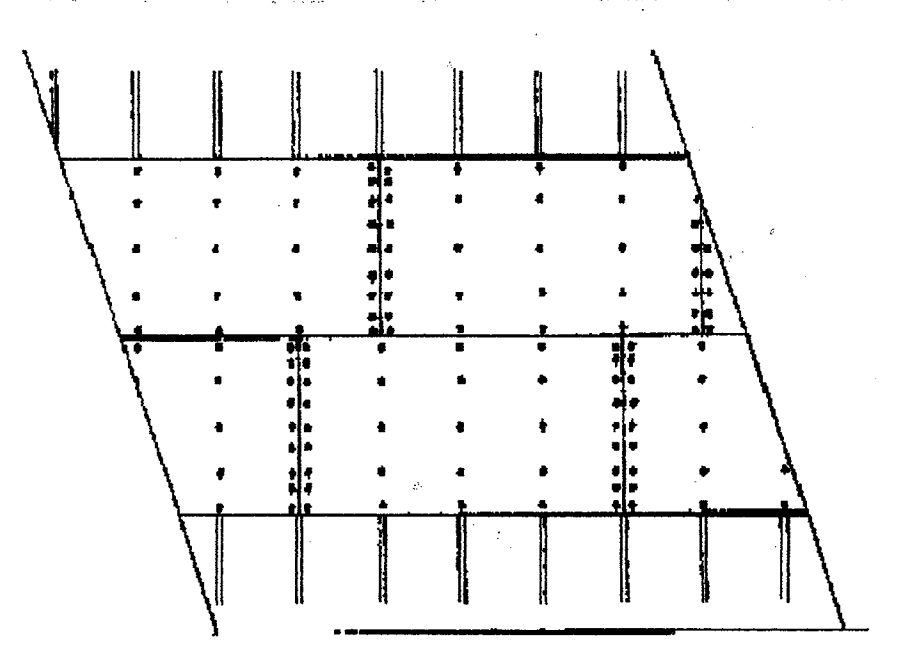
DATE: 10.31.01

SHEET:
 5
 OF 27

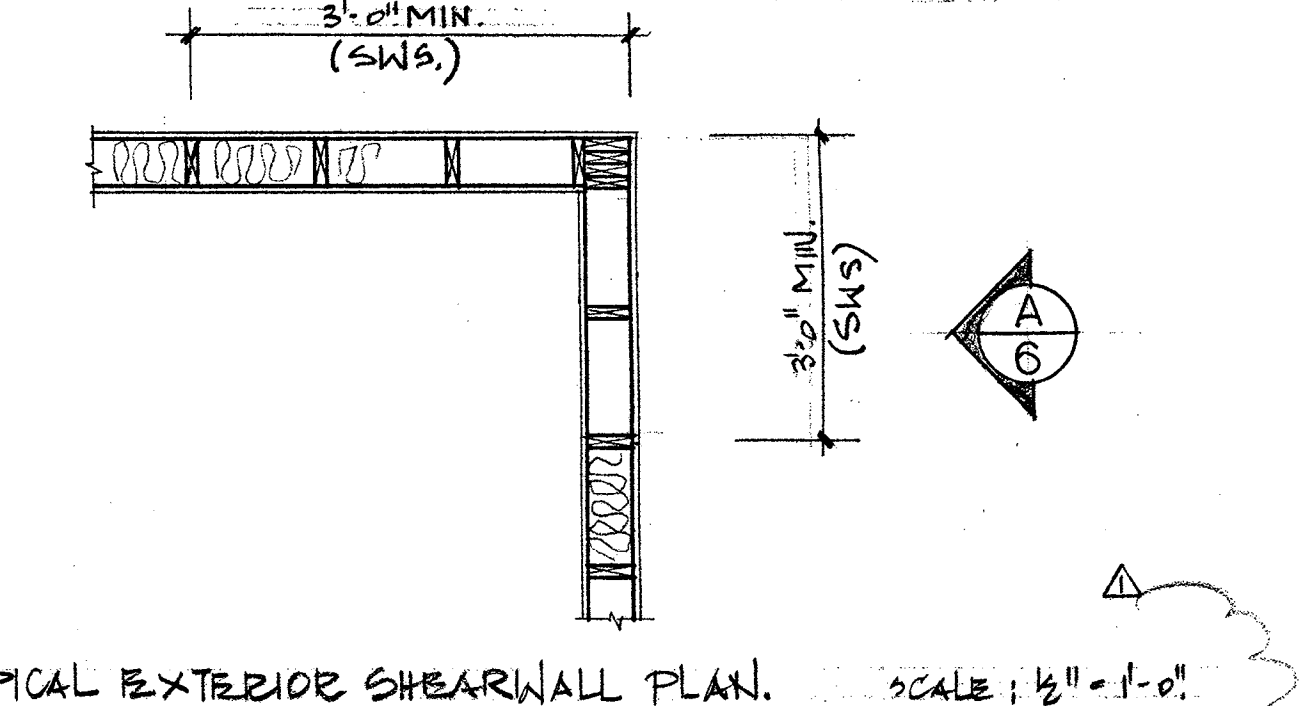


SECOND FLOOR PLAN

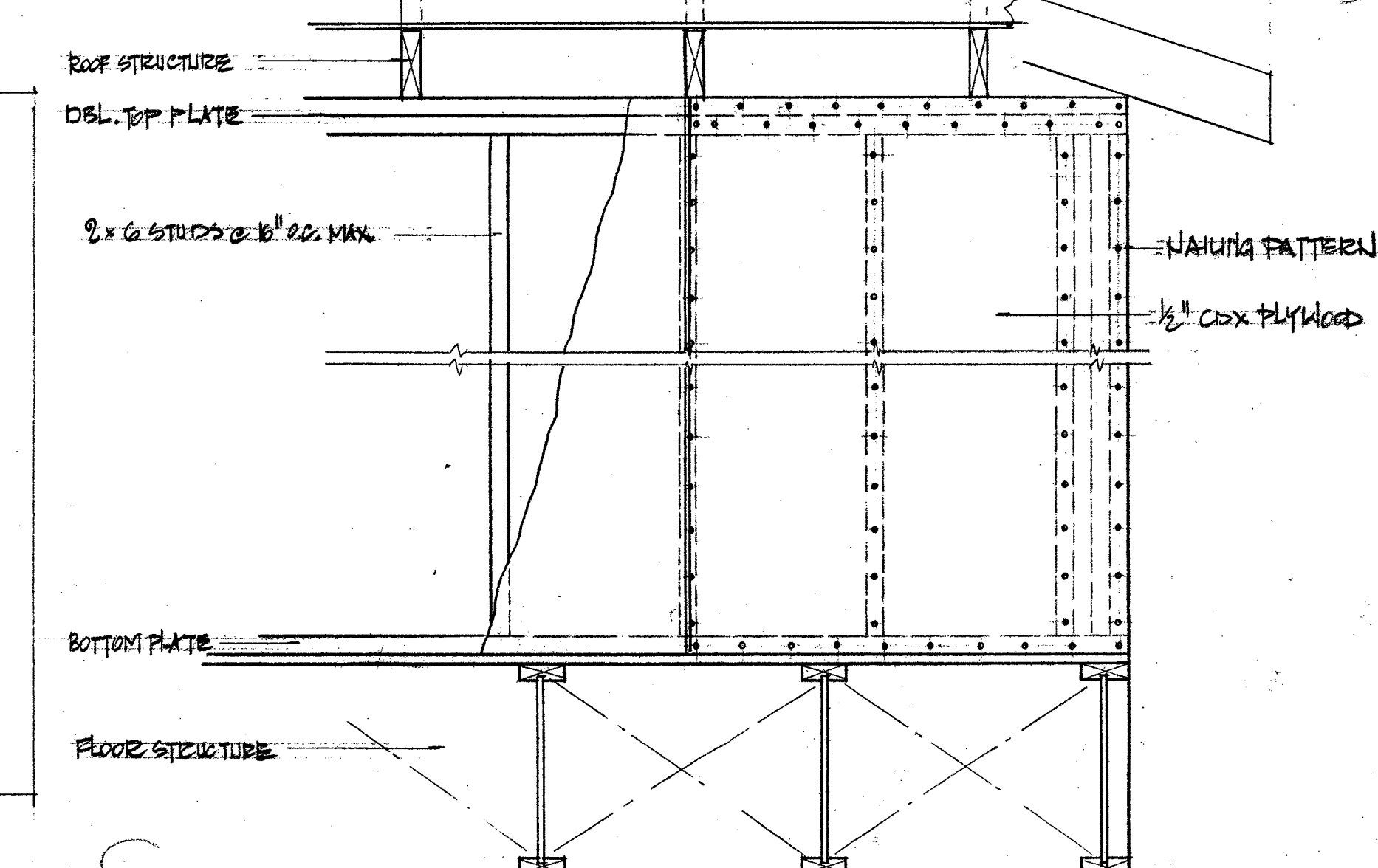
SCALE: 1/4" = 1'-0"



ROOF & WALL NAILING REQUIREMENTS -
 Roof requires 8d nails @ 6" O.C. max on all batt joints & 8d nails @ 6" O.C. max in field.
 Space 8d nails @ 4" O.C. within 5'-0" of gable ends or gable end trusses.



TYPICAL EXTERIOR SHEARWALL PLAN. SCALE: 1/2" = 1'-0"



(SWS) - INDICATES EXTERIOR SHEARWALL SEGMENT TYPE I WITH DOUBLE STUDS AT EACH END, WITH FULL HEIGHT 1/2" COX PLYWOOD SHEATHING ON BOTH SIDES, ATTACHED TO FRAMING, TOP & BOTTOM PLATES ALONG FOUR (4) EDGES W/ 8d NAILS @ 4" O.C. MAX. W/ JOINTS FOR ADJACENT PANELS OCCURRING OVER COMMON FRAMING MEMBERS, FOR HOLD DOWNS BETWEEN BOTTOM PLATE & FLOOR/BEAM BELOW USE SIMPSON HOLD-DOWNS MODEL HD 20A AT EACH END & IN FIELD AT EVERY 2ND STUD.

A
6 TYPICAL EXTERIOR SHEARWALL ELEVATION. SCALE: 1" = 1'-0"

NOTE: FOR INTERIOR STAIRS DETAIL SEE DWG. NO. 13.

- REVISIONS:**
- △ (01-08-02) PER CITY OF SARASOTA BLDG. ZON.
 - △ (01-11-02) PER CITY OF SARASOTA BLDG. ZON.
 - △ (01-28-02) PER CITY OF SARASOTA BLDG. ZON.

REV 02

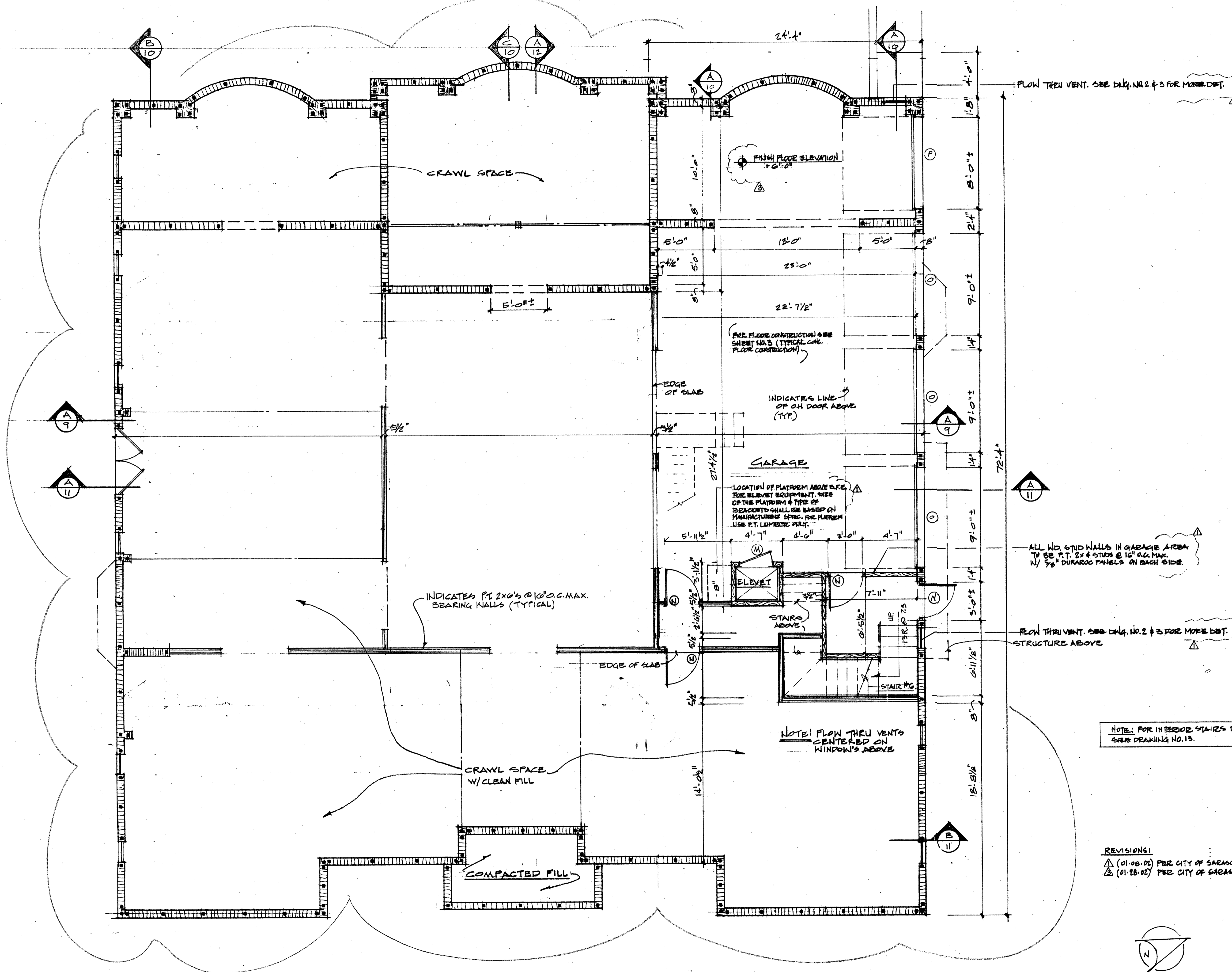
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 527 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

WM. Thorning Little, Archt.
 REC. AR 0009247 COA AA 0002677
 To the best of my knowledge and belief these drawings comply with all applicable minimum Building Codes and minimum Fire Safety Standards in accordance with chapters 553 and 633 of the Laws of Florida, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
 3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE: 10.31.01
 01.08.02

SHEET 9 OF 27



FLOW THRU VENT. SEE Dwg. NO. 2 & 3 FOR MORE DET.

FINISH FLOOR ELEVATION
1.0'-0"

FOR FLOOR CONSTRUCTION SEE SHEET NO. 3 (TYPICAL CONC. FLOOR CONSTRUCTION)

INDICATES LINE OF OH. DOOR ABOVE (TYP.)

GARAGE
LOCATION OF PLATFORM ABOVE ELEV. FOR BLUVEST EQUIPMENT. SIZE OF THE PLATFORM & TYPE OF BRACKETS SHALL BE BASED ON MANUFACTURER SPEC. FOR PLATFORM USE P.T. LUMBER SPEC. FOR PLATFORM.

ALL WD. STUD WALLS IN GARAGE AREA TO BE P.T. 2x4 STUDS @ 16" O.C. MAX. W/ 3/8" DURAROC PANELS ON EACH SIDE.

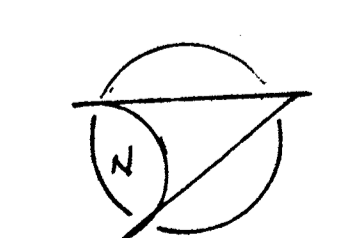
INDICATES P.T. 2x6'S @ 16" O.C. MAX. BEARING WALLS (TYPICAL)

FLOW THRU VENT. SEE Dwg. NO. 2 & 3 FOR MORE DET. STRUCTURE ABOVE

NOTE! FLOW THRU VENTS CENTERED ON WINDOWS ABOVE

NOTE: FOR INTERIOR STAIRS DETAIL SEE DRAWING NO. 13.

REVISIONS:
 ▲ (01-08-02) PER CITY OF SARASOTA BLDG. ZON.
 ▲ (01-28-02) PER CITY OF SARASOTA BLDG. ZON.



GARAGE LEVEL PLAN

SCALE: 1/4" = 1'-0"



FLOW THROUGH VENT BEYOND. SEE SH. NO. 2 FOR DET.

CHIMNEY FOR ATTIC VENTILATION ONLY

FIREPLACE CHIMNEY

11/08/01

SCALE: 1/8" = 1'-0"

REAR LOGGIA ELEVATION

WM. THORNING LITTLE, ARCHT., P.A.
537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

Win. Thorning Little, Archt.
P.C. AR 0009347 CON. AA 0002677
To the best of my knowledge and belief, these drawings comply with all applicable minimum Building Codes and minimum Fire Safety Standards in accordance with chapters 553 and 637 of the Laws of Florida, along with all other related municipal ordinances.



FIREPLACE CHIMNEY

FIREPLACE CHIMNEY

CHIMNEY FOR ATTIC VENTILATION ONLY

WEST ELEVATION

ROOF RIDGE

ROOF MEAN HT.

SECOND FL. BRG. HT.

BRG. HT.

CHIMNEY FOR ATTIC VENTILATION ONLY

SECOND MIN. FLOOR

REVISIONS:

△ (01.26.02) PER CITY OF SARASOTA BLDG. ZON.

FIRST FIN. FLOOR

1376

2.0 B.F.E.

E A S T E L E V A T I O N

SCALE: 1/4" = 1'-0"

REVISIONS:
△ (01.08.02) PER CITY OF SARASOTA BLDG. ZON.

PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

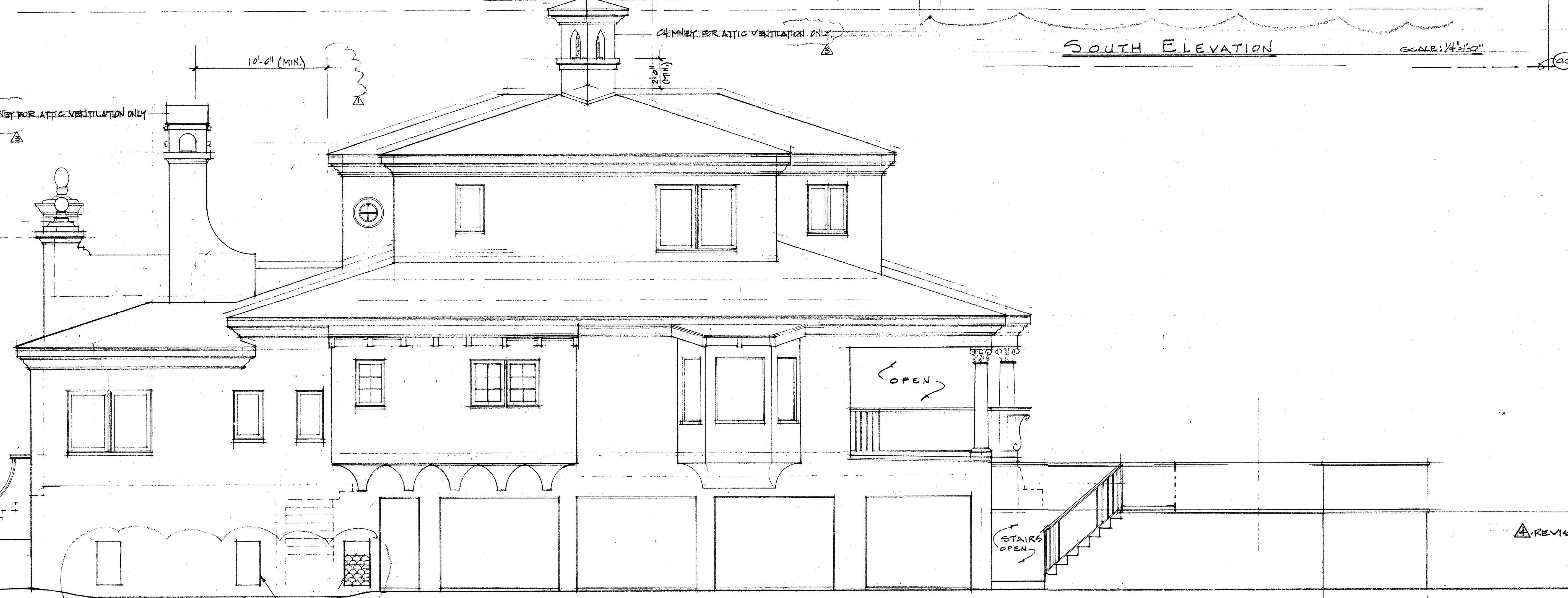
DATE:
10.31.01

SHEET:
7
7 of 27



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS:
 (1) (01-08-02) PER CITY OF SARASOTA BLDG. ZON.
 (2) (01-08-02) PER CITY OF SARASOTA BLDG. ZON.

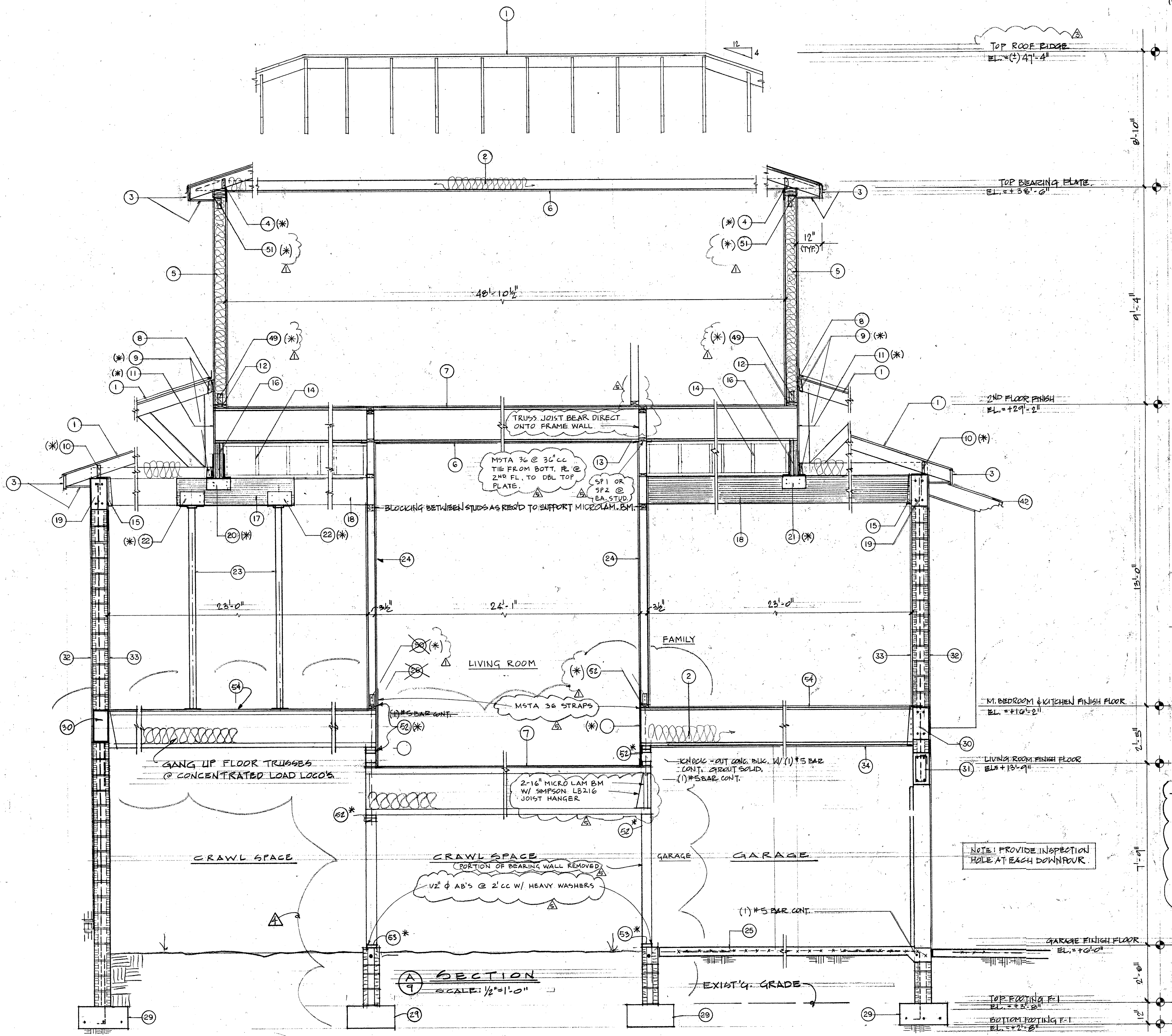
WM. THORNING LITTLE, ARCH'T, P.A.
 537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (041) 365-9284 FAX (041) 365-8725

WM. Thorning Little, Arch't.
 BSC, AR 0009347 COA AA 0002677
 To the best of my knowledge, these plans and specifications comply with the Florida Building Code, Florida Building Standards in accordance with chapters 553 and 633 of the Florida Statutes, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
 3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE:
 10-31-01
 02-11-02

SHEET:
8
 8 OF 27



LEGEND

- (*) DENOTES REFERENCE TO HURRICANE FASTENERS
- 1 TYPICAL ROOF CONSTRUCTION: ROOF TILES PER SPEC. ON 90# HOT MOP ON 30# DRY-IN FELT. EAVE COURSE TO BE NAILED OVER 1/2" CDX PLYWOOD DECKING OVER PRE-ENGINEERED & PRE-FABRICATED ROOF TRUSSES @ 24" O.C. MAXIMUM.
 - 2 R-30 F.G. INSULATION.
 - 3 2 x 6 SUBFASCIA W/ALUM. FASCIA, ALUM. DRIP & VENTED ALUM. SOFFIT.
 - 4 (2) 2 X 6 TOP PLATE W/SBCCI APPROVED ANCHORS CAPABLE OF MEETING UPLIFT REQ'D AS PROVIDED BY TRUSS MANUFACTURER AT EACH BRIDGING POINT OF EACH TRUSS. USE SIMPSON TWIST STRAPS MODEL MTS 20 OR EQUAL.
 - 5 TYPICAL EXTERIOR STUD WALL CONSTRUCTION: 7/8" THK. MIN. STUCCO EXTERIOR FINISH ON METAL LATH OVER 15# FELT ON 1/2" CDX PLYWOOD SHEATHING OVER 2 X 6 STUDS @ 16" O.C. MAX. WITH R-19 F.G. INSULATION AND 5/8" GYP. BOARD ON INTERIOR SIDE. (VERIFY THICKNESS OF GYP. BOARD W/OWNER)
 - 6 5/8" GYPSUM BOARD AT CEILING. (VERIFY THICKNESS OF GYP. BOARD W/OWNER)
 - 7 TYPICAL KITCHEN AREA FLOOR & SECOND FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 24" O.C. MAX. FIRST FLOOR SHALL BE INSULATED WITH R-30 F.G. INSULATION.
 - 8 P.T. 2 X 6 LEDGER PLATE FASTENED TO EACH STUD.
 - 9 SIMPSON FACE MOUNT HANGER MODEL HUS 26 TYP. @ EACH TRUSS.
 - 10 SIMPSON TRUSS ANCHOR MODEL HETA 20 WITH GALVANIZED TRUSS SEAT. TYP. AT EACH TRUSS.
 - 11 SIMPSON STRAP TIE MODEL MSTA 36. TYP. AT EACH STUD.
 - 12 2 X 6 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS.
 - 13 FLOOR TRUSS HANGER BY MANUFACTURER.
 - 14 BLOCKING AS REQ'D MADE OF 2 X 4 STUDS @ 24" O.C. MAXIMUM.
 - 15 MICROLAM BEAM HANGER BY MANUFACTURER.
 - 16 (2) 1 3/4" X 18" MICROLAM BEAM W/ MIN. THREE (3) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM. (STAGGERED)
 - 17 (2) 1 3/4" X 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM. (STAGGERED)
 - 18 (4) 1 3/4" X 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM. (STAGGERED)
 - 19 CONC. TIE BEAM B-2. SEE DRAWING No. 14 FOR DETAILS.
 - 20 SIMPSON POST CAP MODEL PC 44.
 - 21 SIMPSON POST CAP MODEL PC 84
 - 22 SIMPSON LALLY COLUMN CAP MODEL LCC3.5-3.5.
 - 23 3 1/2" DIA. LALLY COLUMN.
 - 24 LOAD BEARING INTERIOR 2 X 4 STUD WALL @ 16" O.C. MAXIMUM WITH 5/8" GYP. BOARD ON EACH SIDE.
 - 25 TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION: 4" THK. CONCRETE SLAB (3,000 PSI MIN.) WITH 6 X 6 - W1.4 X W1.4 W.W.F. ON 6 MIL VISQUEEN VAPOR BARRIER OVER CLEAN, COMPACTED & POISONED FILL.
 - 26 2 X 4 BOTTOM PLATE FASTENED TO CON. SLAB FLOOR WITH 5/8" DIA. ANCHOR BOLTS @ 20" O.C. MAX. USE 5/16" X 3" DIA. WASHERS.
 - 27 FOOTING F-4. SEE DRAWING No. 3 FOR DETAILS.
 - 28 FOOTING F-2. SEE DRAWING No. 3 FOR DETAILS.
 - 29 FOOTING F-1. SEE DRAWING No. 3 FOR DETAILS.
 - 30 BEAM B-4. SEE DRAWING No. 14 FOR DETAILS.
 - 31 BEAM B-1. SEE DRAWING No. 14 FOR DETAILS.
 - 32 TYPICAL EXTERIOR CONCRETE BLOCK WALL CONSTRUCTION: MIN. 1/2" THK. STUCCO EXTERIOR FINISH OVER 8" CONC. BLOCK WALL W/CONC. FILLED CELL W/(1) # 5 VERT. BAR FROM FOOTING TO THE BEAM AT EVERY CORNER. AT EACH SIDE OF WALL OPENING & 48" O.C. MAX. IN FIELD. HOOKED & TIED BEFORE INSPECTION, LAPPED 40 DIA. MINIMUM.
 - 33 5/8" GYP BOARD ON R-4.2 F.F. RIGID INSULATION OVER 1 X 2 P.T. FURRING STRIPS @ 16" O.C. MAX. ON 8" CONCRETE BLOCK WALL.
 - 34 5/8" F.R. GYP. BOARD AT GARAGE CEILING.
 - 35 SIMPSON FLOOR TRUSS/STUD WALL ANCHOR MODEL HETA 40. TYP. AT EACH STUD.
 - 36 BEAM B-3. SEE DRAWING No. 14 FOR DETAILS.
 - 37 P.T. 2 X 12 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/ 5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAXIMUM.
 - 38 8" X 10" CONC. TIE BEAM W/ (2) # 5 HORIZONTAL BARS CONT.
 - 39 P.T. 2 X 8 PLATE CONT. FASTENED TO THE BEAM W/5/8" DIA. ANCHOR BOLTS AT 24" O.C. MAX.
 - 40 REAR LOGGIA DECK CONSTRUCTION: 2" CONC. MUD OVER 15# FELT ON 3/4" CDX PLYWOOD DECK OVER 2 X 12 DECK JOISTS AT 16" O.C. MAX. (SPACED) - FOR LEDGER PLATE/FLOOR JOIST CONNECTION USE SIMPSON FACE MOUNT HANGER MODEL HUS210-2 (EACH JOIST). FOR FLOOR JOISTS/TIE BEAM CONNECTION USE SIMPSON ANCHOR MODEL FJA & SIMPSON ANGLE MODEL A23 (TYP. EACH JOIST).
 - 41 REAR LOGGIA DECK CONSTRUCTION: 2" CONC. MUD OVER 15# FELT ON 3/4" CDX PLYWOOD DECK OVER 2 X 12 DECK JOISTS AT 16" O.C. MAX. (SPACED) - FOR LEDGER PLATE/FLOOR JOIST CONNECTION USE SIMPSON FACE MOUNT HANGER MODEL HUS210-2 (EACH JOIST). FOR FLOOR JOISTS/TIE BEAM CONNECTION USE SIMPSON ANCHOR MODEL FJA & SIMPSON ANGLE MODEL A23 (TYP. EACH JOIST).
 - 42 METAL/COPPER ROOF FINISH ON 30# DRY-IN FELT OVER 1/2" CDX PLYWOOD DECKING OVER 2 X 8 CYPRESS RAFTERS @ 24" O.C. MAX.
 - 43 SIMPSON JOIST HANGER MODEL HU28.
 - 44 SIMPSON HURRICANE ANGLE MODEL HGA10. TYP. EACH SIDE OF BRACKET.
 - 45 SIMPSON JOIST HANGER MODEL HUS28-2.
 - 46 P.T. 2 X 8 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAX.
 - 47 3/4" T & G PLYWOOD SUBFLOOR GLUED & NAILED OVER 2 X 8 FLOOR JOISTS @ 16" O.C. MAX. AND R-30 F.G. INSULATION.
 - 48 SCULPTURED CUT-OUT WITH 1 X 1 P.T. DRIP EDGE COVERED W/COPPER DRIP.
 - 49 2 X 4 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS, WITH HD5A
 - 50 SIMPSON HOLDDOWN MODEL HD5A FASTENING 2X4 BOTTOM PLATE TO CONC. FLOOR - SEE DRAWING OTHER STUD.
 - 51 SIMPSON MODEL H6. TYP. EACH STUD.
 - 52 SIMPSON HOLDDOWN MODEL HD5A FASTENING FLOOR SYSTEM TO WALL STUD ABOVE & BELOW. TYP. EACH STUD.
 - 53 SIMPSON HOLDDOWN MODEL HD5A FASTENING BOTTOM PLATE & WALL STUD TO FOUNDATION WALL. TYP. EACH STUD.
 - 54 FIRST & SECOND FLOOR CONSTRUCTION (EXCLUDING LIVING ROOM): 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 16" O.C. MAX. FIRST FLOOR SHALL RECEIVE R-30 F.G. INSULATION.
 - 55 SIMPSON POST BASE MODEL CB544.
 - 56 SIMPSON POST CAP MODEL PC44.
 - 57 SIMPSON FACE MOUNT HANGER MODEL HUS210-2
 - 58 SIMPSON TOP FLANGE HANGER MODEL MBH42-F/1/3E

REVISIONS:

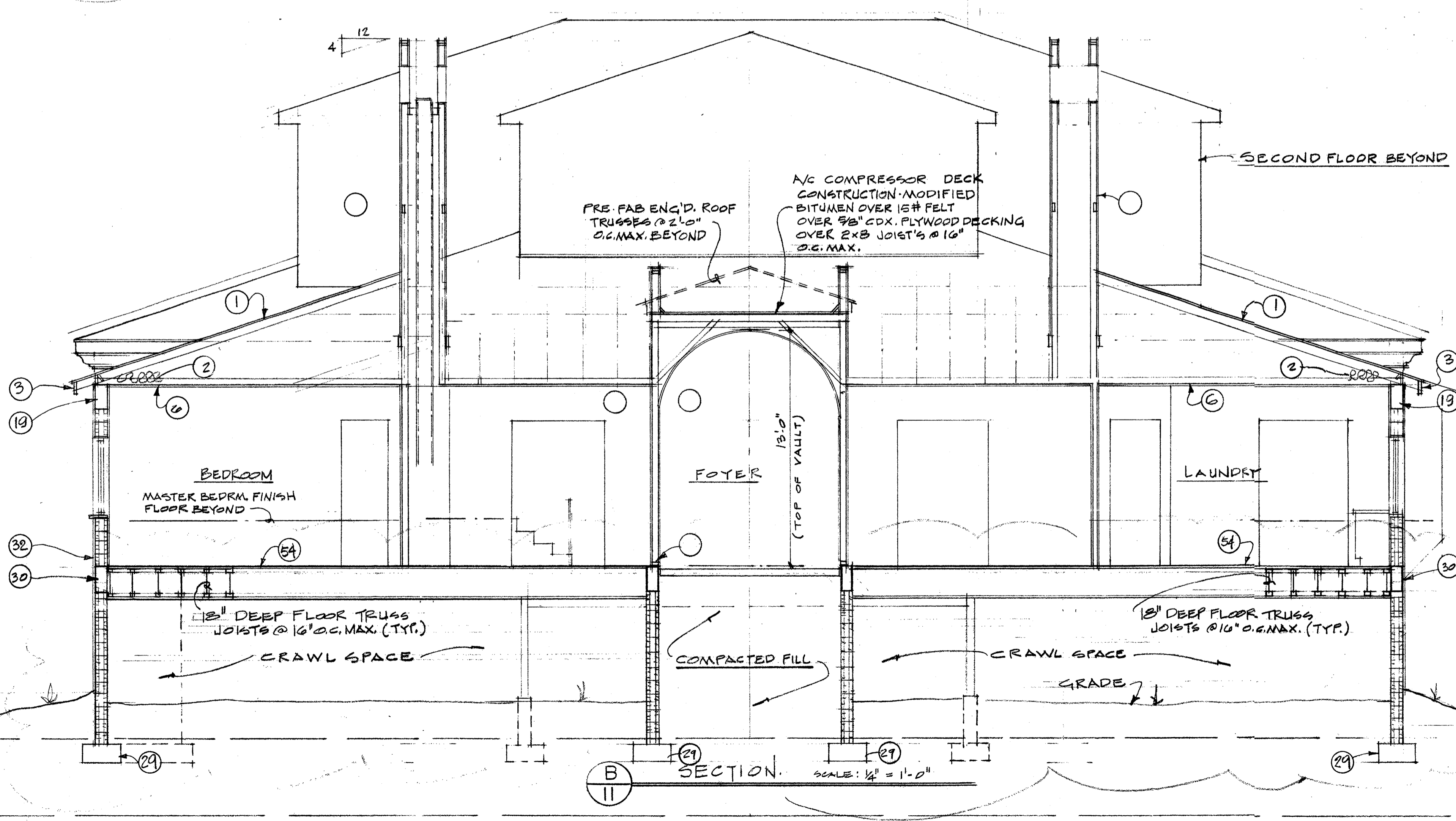
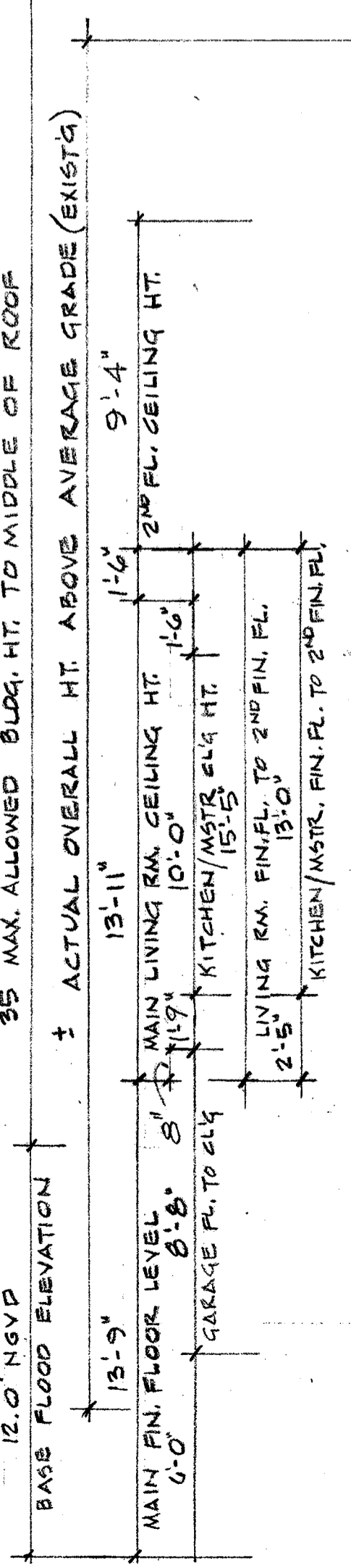
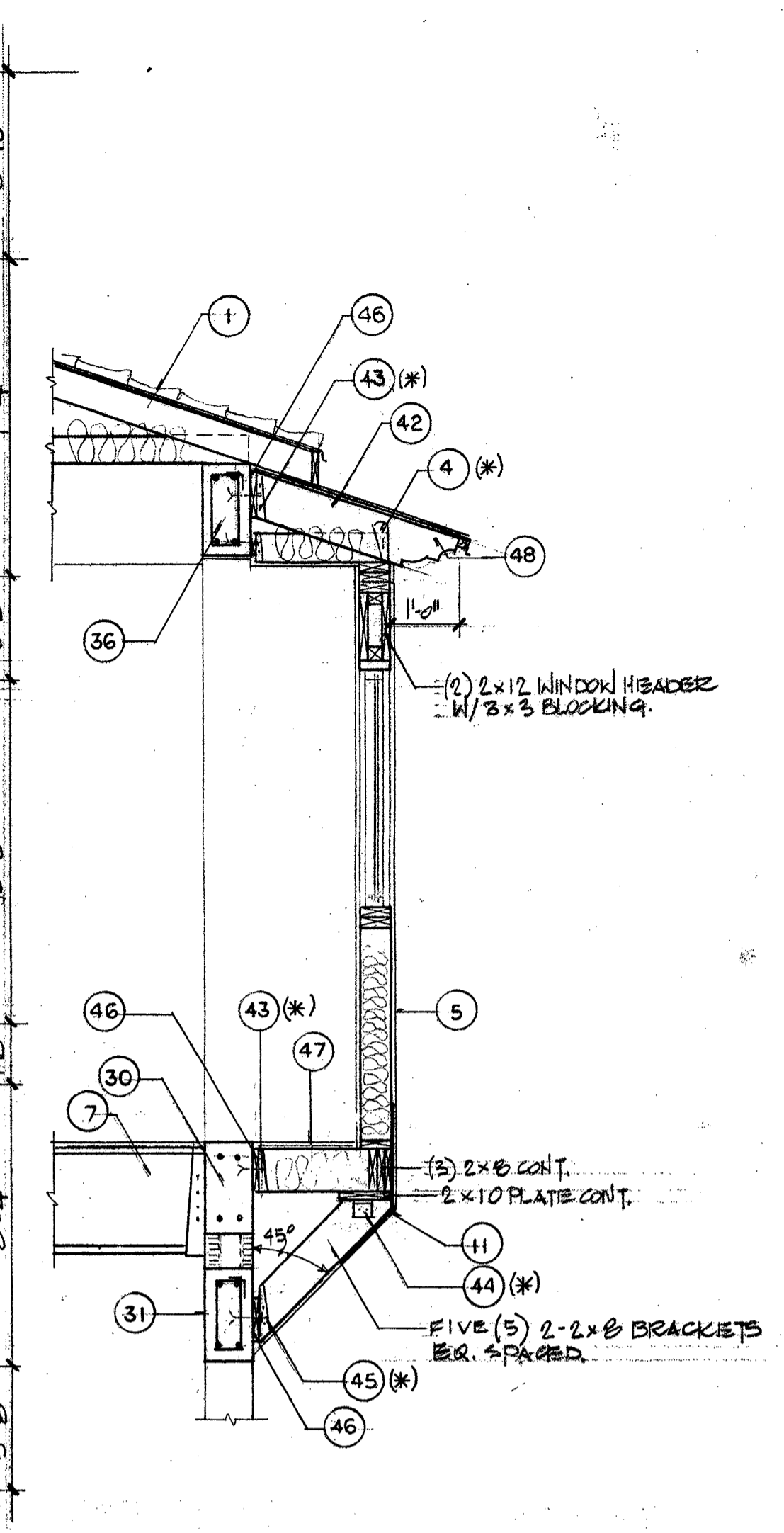
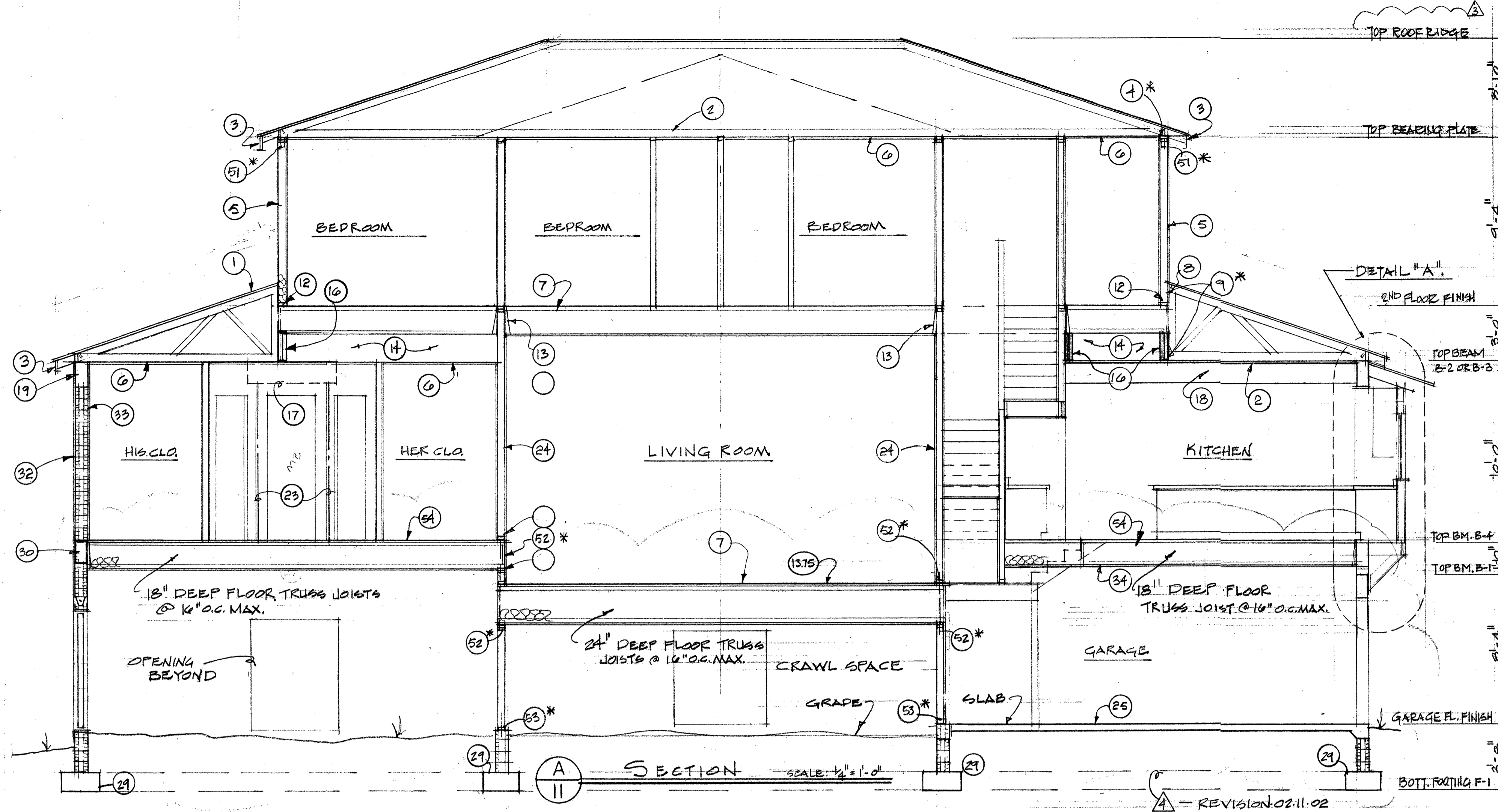
1	(01-08-02)	PER CITY OF SARASOTA BLDG. ZON.	REVISION
2	(01-28-02)	PER CITY OF SARASOTA BLDG. ZON.	REVISION

A SECTION
SCALE: 1/2" = 1'-0"

WM. THORNING LITTLE, ARCHT., P.A.
 557 S. PINEAPPLE AVENUE - SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725
PROPOSED RESIDENCE FOR MR. & MRS. PAUL MOBLEY
 1500 BAYOU LOUISE LANE - SARASOTA, FLORIDA
 DATE: 10-31-01
 01-08-02
 01-28-02
 02-11-02
 7-23-02
 SHEET 9 OF 27

LEGEND
 (*) DENOTES REFERENCE TO HURRICANE FASTENERS

- 1 TYPICAL ROOF CONSTRUCTION: ROOF TILES PER SPEC. ON 90# HOT MOP ON 30# DRY-IN FELT. EAVE COURSE TO BE NAILED OVER 1/2" CDX PLYWOOD DECKING OVER PRE-ENGINEERED & PRE-FABRICATED ROOF TRUSSES @ 24" O.C. MAXIMUM.
- 2 R-30 F.G. INSULATION.
- 3 2 X 6 SUBFASCIA W/ALUM. FASCIA, ALUM. DRIP & VENTED ALUM. SOFFIT.
- 4 2 X 6 TOP PLATE W/SBCI APPROVED ANCHORS CAPABLE OF MEETING UPLIFT REQ'D AS PROVIDED BY TRUSS MANUFACTURER AT EACH BRIDGING POINT OF EACH TRUSS. USE SIMPSON TWIST STRAPS MODEL MTS 20 OR EQUAL.
- 5 TYPICAL EXTERIOR STUD WALL CONSTRUCTION: 7/8" THK. MIN. STUCCO EXTERIOR FINISH ON METAL LATH OVER 1/2" CDX PLYWOOD SHEATHING OVER 2 X 6 STUDS @ 16" O.C. MAX. WITH R-19 F.G. INSULATION AND 5/8" GYP. BOARD ON INTERIOR SIDE. VERIFY THICKNESS OF GYP. BOARD (WORKMAN).
- 6 5/8" GYPSUM BOARD AT CEILING. (VERIFY THICKNESS OF GYP. BOARD WORKMAN)
- 7 TYPICAL KITCHEN AREA FLOOR & SECOND FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 16" O.C. MAX. FIRST FLOOR SHALL BE INSULATED WITH R-30 F.G. INSULATION.
- 8 2 X 6 LEDGER PLATE FASTENED TO EACH STUD.
- 9 SIMPSON FACE MOUNT HANGER MODEL HUS 26 TYP. @ EACH TRUSS.
- 10 SIMPSON TRUSS ANCHOR MODEL HETA 20 WITH GALVANIZED TRUSS SEAT, TYP. AT EACH TRUSS.
- 11 SIMPSON STRAP TIE MODEL MSTA 36, TYP. AT EACH STUD.
- 12 2 X 6 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS.
- 13 FLOOR TRUSS HANGER BY MANUFACTURER.
- 14 BLOCKING AS REQ'D MADE OF 2 X 4 STUDS @ 24" O.C. MAXIMUM.
- 15 MICROLAM BEAM HANGER BY MANUFACTURER.
- 16 (2) 1 3/4" X 18" MICROLAM BEAM W/ MIN. THREE (3) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM. (STAGGERED)
- 17 (2) 1 3/4" X 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. (STAGGERED)
- 18 (4) 1 3/4" X 4" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM. (STAGGERED)
- 19 CONC. TIE BEAM B-2. SEE DRAWING No. 14 FOR DETAILS.
- 20 SIMPSON POST CAP MODEL PC 44.
- 21 SIMPSON POST CAP MODEL PC 44.
- 22 SIMPSON LALLY COLUMN CAP MODEL LCC3.5-3.5.
- 23 3 1/2" DIA. LALLY COLUMN.
- 24 LOAD BEARING INTERIOR 2 X 4 STUD WALL @ 16" O.C. MAXIMUM WITH 5/8" GYP. BOARD ON EACH SIDE.
- 25 TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION: 4" THK. CONCRETE SLAB (3,000 PSI MIN.) WITH 4 X 6 - W/4 X W/4 W/W.F. ON 6 MIL VISQUEEN VAPOR BARRIER OVER CLEAN, COMPACTED & ROISED FILL.
- 26 2 X 4 BOTTOM PLATE FASTENED TO CON. SLAB FLOOR WITH 5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAX. USE 5/16" X 3" DIA. WASHERS.
- 27 FOOTING F-4. SEE DRAWING No. 3 FOR DETAILS.
- 28 FOOTING F-1. SEE DRAWING No. 3 FOR DETAILS.
- 29 BEAM B-4. SEE DRAWING No. 14 FOR DETAILS.
- 30 BEAM B-1. SEE DRAWING No. 14 FOR DETAILS.
- 31 TYPICAL EXTERIOR CONCRETE BLOCK WALL CONSTRUCTION: MIN. 12" THK. STUCCO EXTERIOR FINISH OVER 8" CONC. BLOCK WALL W/CONC. FILLED CELL W/ (1) #5 VERT. BAR FROM FOOTING TO TIE BEAM AT EVERY CORNER. AT EACH SIDE OF WALL OPENING & 48" O.C. MAX. IN FIELD. HOOKED & TIED BEFORE INSPECTION. LAPPED 40 DIA. MINIMUM.
- 32 5/8" GYP. BOARD ON 8" X 2 F.F. RIGID INSULATION OVER 1 X 2 P.T. FURRING STRIPS @ 16" O.C. MAX. ON 8" CONCRETE BLOCK WALL.
- 33 5/8" F.R. GYP. BOARD AT GARAGE CEILING.
- 34 SIMPSON FLOOR TRUSS WALL ANCHOR MODEL HETA 10, TYP. AT EACH STUD.
- 35 BEAM B-3. SEE DRAWING No. 14 FOR DETAILS.



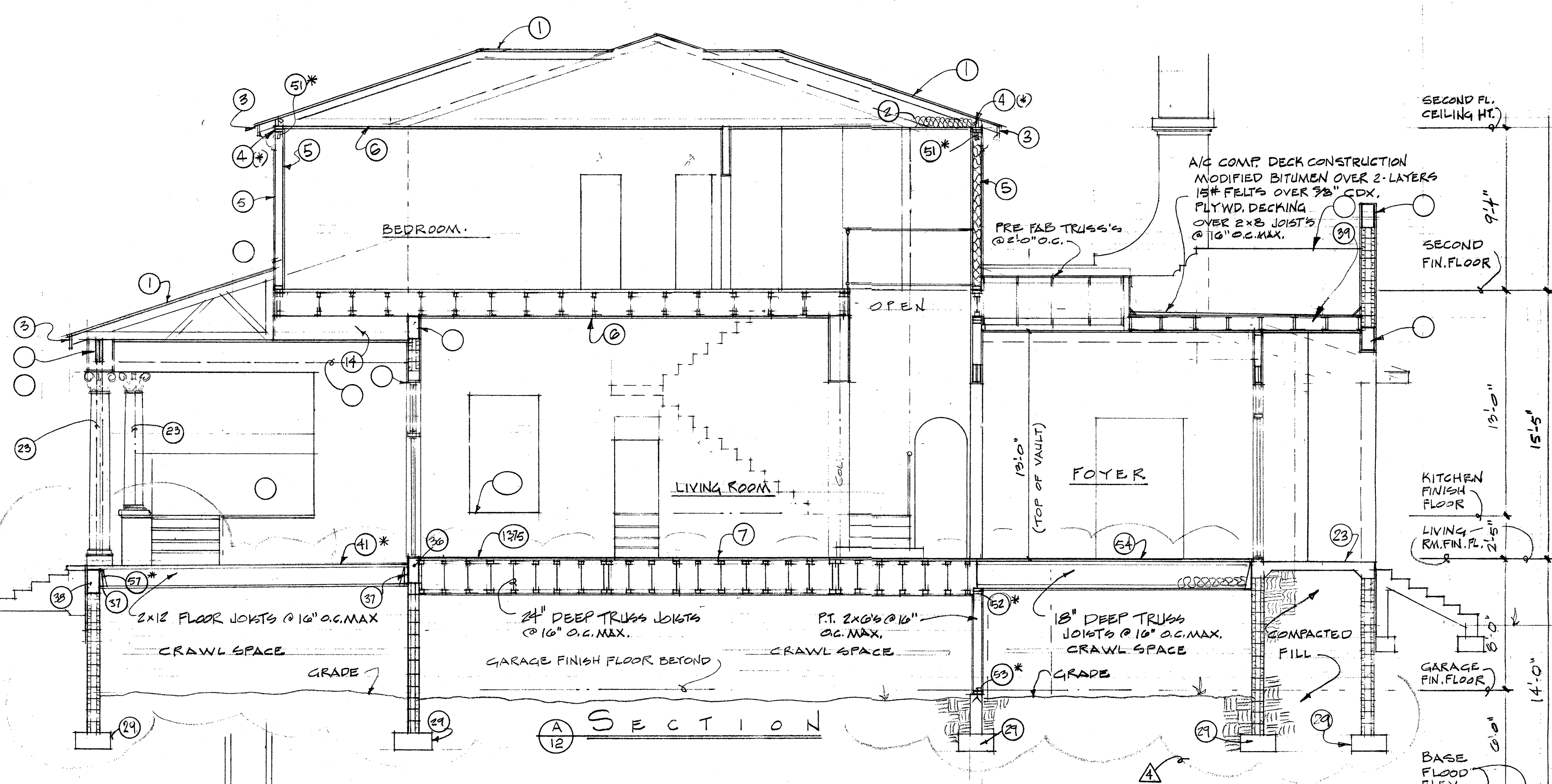
- DETAIL 'A' SCALE: 1/2" = 1'-0"
- 36 P.T. 2 X 12 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/ 5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAXIMUM.
 - 37 8" X 10" CONC. TIE BEAM W/ (2) #5 HORIZONTAL BARS CONT.
 - 38 P.T. 2 X 8 PLATE CONT. FASTENED TO THE BEAM W/ 5/8" DIA. ANCHOR BOLTS AT 24" O.C. MAX.
 - 39 2 X DECK ENCLOSURE.
 - 40 REAR LOGGIA DECK CONSTRUCTION: 2" CONC. MUD OVER 1 1/2" FELT ON 3/4" CDX PLYWOOD DECK OVER 2 X 12 JOISTS AT 16" O.C. MAX. FOR LEDGER PLATE/FLOOR JOIST CONNECTION USE SIMPSON FACE MOUNT HANGER MODEL HUS210-2 TYP. EACH JOIST. FOR FLOOR JOISTS/TIE BEAM CONNECTION USE SIMPSON ANCHOR MODEL FIA & SIMPSON ANGLE MODEL A33 TYP. EACH JOIST.
 - 41 METAL/COPPER ROOF FINISH ON 30# DRY-IN FELT OVER 1/2" CDX PLYWOOD DECKING OVER 2 X 8 CYPRESS RAFTERS @ 24" O.C. MAX.
 - 42 SIMPSON JOIST HANGER MODEL HUS28.
 - 43 SIMPSON HURRICANE ANGLE MODEL HGA10, TYP. EACH SIDE OF BRACKET.
 - 44 SIMPSON JOIST HANGER MODEL HUS28-2.
 - 45 P.T. 2 X 8 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/ 5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAX.
 - 46 1 1/2" T & G PLYWOOD SUBFLOOR GLUED & NAILED OVER 2 X 8 FLOOR JOISTS @ 16" O.C. MAX. AND R-30 F.G. INSULATION.
 - 47 SCULPTURED CUT-OUT WITH 1 X 1 P.T. DRIP EDGE COVERED W/ COPPER DRIP.
 - 48 2 X 4 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS.
 - 49 SIMPSON HOLDDOWN MODEL HD5A FASTENING 2X4 BOTTOM PLATE TO CONC. FLOOR TYPE EVERY OTHER STUD.
 - 50 SIMPSON MODEL H6, TYP. EACH STUD.
 - 51 SIMPSON HOLDDOWN MODEL HD5A FASTENING FLOOR SYSTEM TO WALL STUD ABOVE & BELOW, TYP. EACH STUD.
 - 52 SIMPSON HOLDDOWN MODEL HD5A FASTENING BOTTOM PLATE & WALL STUD TO FOUNDATION WALL, TYP. EACH STUD.
 - 53 FIRST & SECOND FLOOR CONSTRUCTION (EXCLUDING LIVING ROOM): 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 16" O.C. MAX. FIRST FLOOR SHALL RECEIVE R-30 F.G. INSULATION.
 - 54 SIMPSON POST BASE MODEL *CB544.
 - 55 SIMPSON POST CAP MODEL PC44.
 - 56 SIMPSON FACE MOUNT HANGER MODEL HUS210-2
 - 57 SIMPSON TOP PLATE HANGER MODEL MBH5A-3, TYP.
- REVISION PER CITY OF SARASOTA

WM. THORNING LITTLE, ARCHT., P.A.
 537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-0284 FAX (941) 365-8725
 Wm. Thorning Little, Archt., CCA AA 0002677
 To the best of my knowledge, these plans and specifications comply with the Florida Building Code, Minimum Standards in accordance with chapters 553 and 633 of the Law of Florida, along with all other related municipal ordinances.
 PROPOSED RESIDENCE FOR MR. & MRS. PAUL MOBLEY 3500 BAYOU LOUISE LANE SARASOTA, FLORIDA
 DATE: 10.31.01
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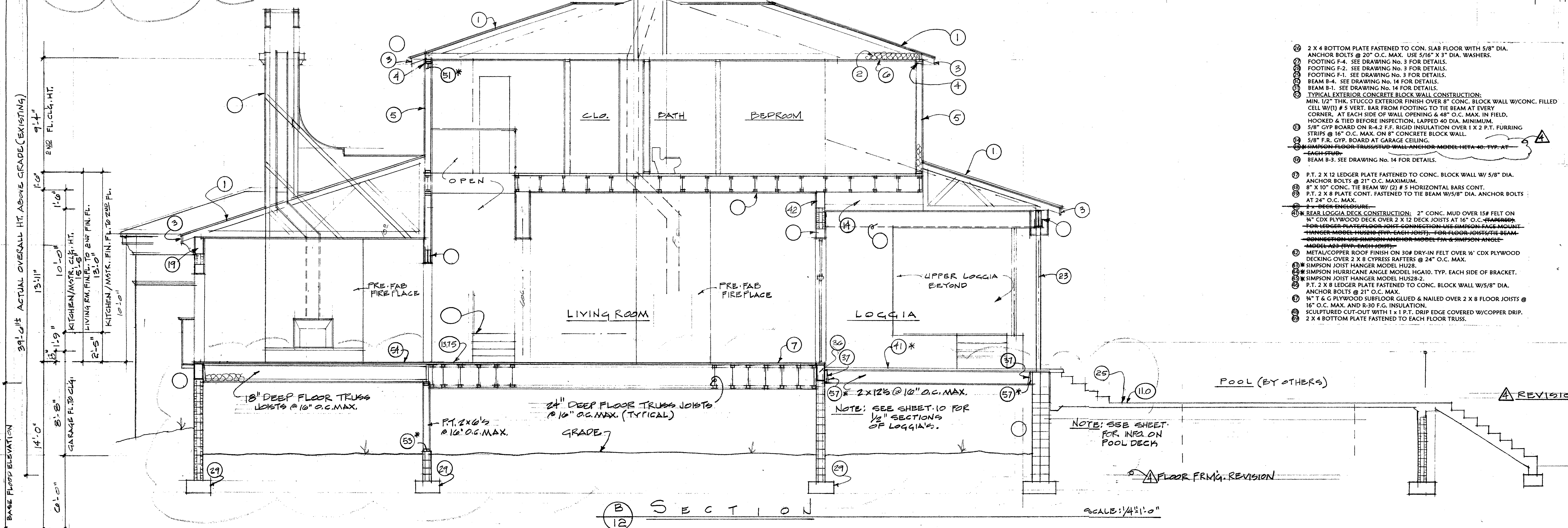
LEGEND

(*) DENOTES REFERENCE TO HURRICANE FASTENERS

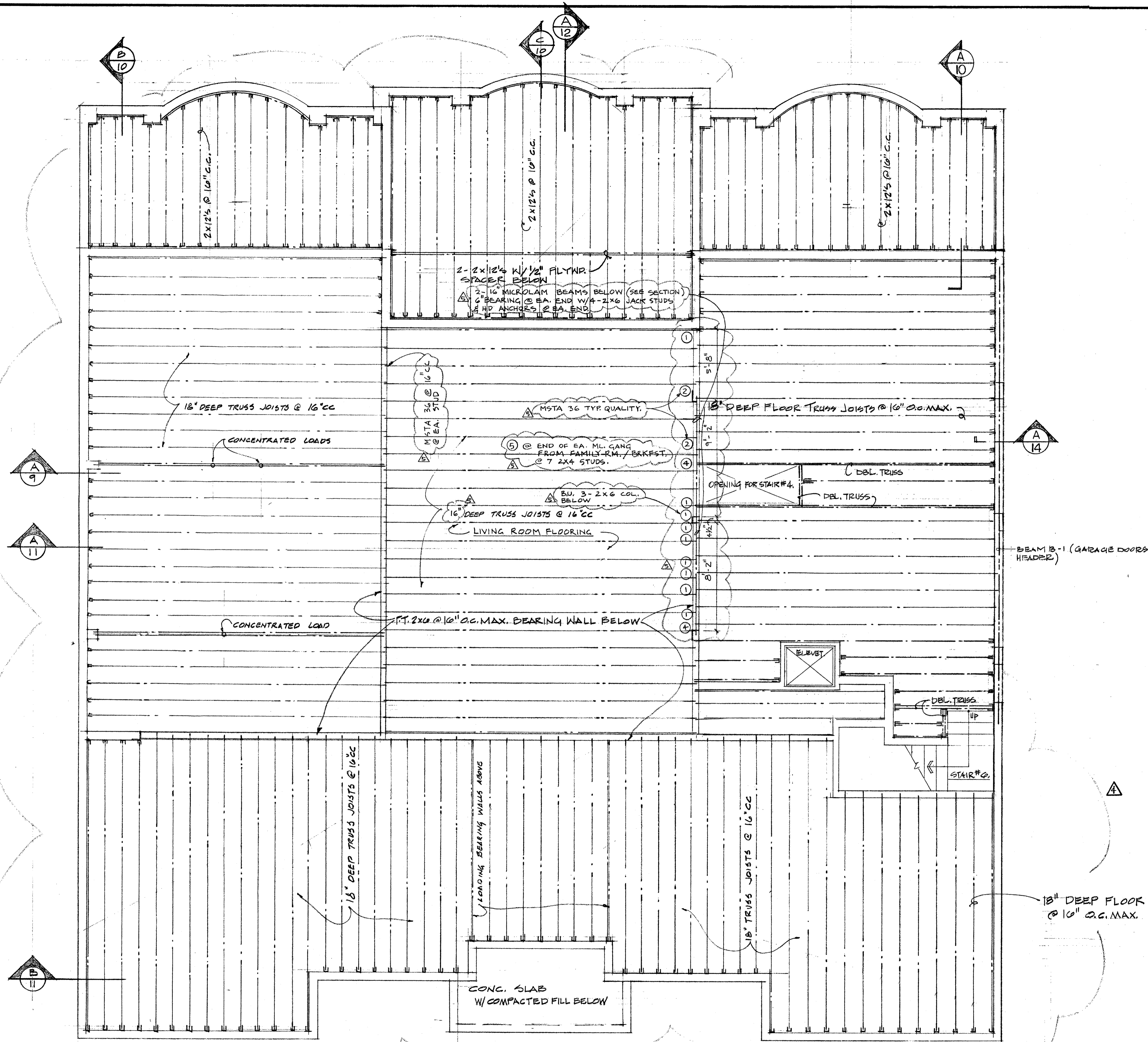
- 1 TYPICAL ROOF CONSTRUCTION: ROOF TILES PER SPEC. ON 90# HOT MOP ON 30# DRY-IN FELT. EAVE COURSE TO BE NAILED OVER 1/2" CDX PLYWOOD DECKING OVER PRE-ENGINEERED & PRE-FABRICATED ROOF TRUSSES @ 24" O.C. MAXIMUM.
- 2 2 x 6 SUBFASCIA W/ALUM. FASCIA, ALUM. DRIP & VENTED ALUM. SOFFIT.
- 3 2 x 6 TOP PLATE W/SBCCI APPROVED ANCHORS CAPABLE OF MEETING UPLIFT REQ'D AS PROVIDED BY TRUSS MANUFACTURER AT EACH BRIDGING POINT OF EACH TRUSS. USE SIMPSON TWIST STRAPS MODEL MTS 20 OR EQUAL.
- 4 TYPICAL EXTERIOR STUD WALL CONSTRUCTION: 7/8" THK. MIN. STUCCO EXTERIOR FINISH ON METAL LATH OVER 1/2" FELT ON 1/2" CDX PLYWOOD SHEATHING OVER 2 x 6 STUDS @ 16" O.C. MAX. WITH R-19 F.G. INSULATION AND 5/8" GYP. BOARD ON INTERIOR SIDE. VERIFY THICKNESS OF GYP. BOARD W/OWNER.
- 5 5/8" GYPSUM BOARD AT CEILING. (VERIFY THICKNESS OF GYP. BOARD W/OWNER)
- 6 TYPICAL KITCHEN AREA FLOOR & SECOND FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 24" O.C. MAX. FIRST FLOOR SHALL BE INSULATED WITH R-30 F.G. INSULATION.
- 7 P.T. 2 x 6 LEDGER PLATE FASTENED TO EACH STUD.
- 8 SIMPSON FACE MOUNT HANGER MODEL HUS 26 TYP. @ EACH TRUSS.
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- 15 (2) 1 3/4" x 18" MICROLAM BEAM W/ MIN. THREE (3) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM. (STAGGERED)
- 16 (2) 1 3/4" x 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. (STAGGERED)
- 17 (4) 1 3/4" x 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM (STAGGERED)
- 18 CONC. TIE BEAM B-2. SEE DRAWING No. 14 FOR DETAILS.
- 19 SIMPSON POST CAP MODEL PC 44.
- 20 SIMPSON POST CAP MODEL PC 84.
- 21 SIMPSON LALLY COLUMN CAP MODEL LCC3.5-3.5.
- 22 LOAD BEARING INTERIOR 2 x 4 STUD WALL @ 16" O.C. MAXIMUM WITH 5/8" GYP. BOARD ON EACH SIDE.
- 23 TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION: 4" THK. CONCRETE SLAB (3,000 PSI MIN.) WITH 6 X6 - W/4 X W/4 W/W.F. ON 6 MIL VISQUEEN VAPOR BARRIER OVER CLEAN, COMPACTED & POISONED FILL.



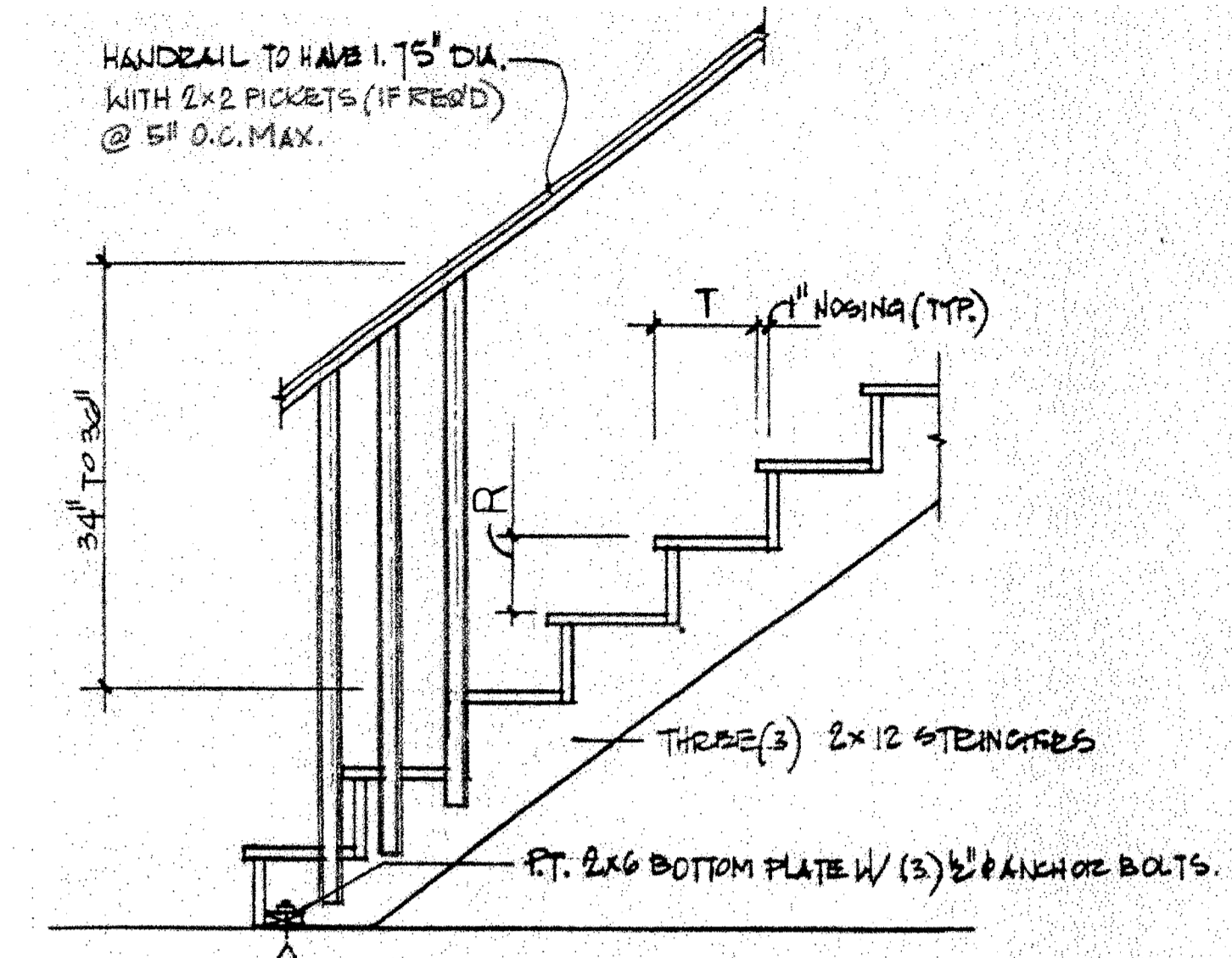
- 24 SIMPSON HOLDDOWN MODEL HD5A FASTENING 2X4 BOTTOM PLATE TO CONC. FLOOR TYPE EVERY OTHER STUD.
- 25 SIMPSON MODEL H6. TYP. EACH STUD.
- 26 SIMPSON HOLDDOWN MODEL HD5A FASTENING FLOOR SYSTEM TO WALL STUD ABOVE & BELOW. TYP. EACH STUD.
- 27 SIMPSON HOLDDOWN MODEL HD5A FASTENING BOTTOM PLATE & WALL STUD TO FOUNDATION WALL. TYP. EACH STUD.
- 28 FIRST & SECOND FLOOR CONSTRUCTION (EXCLUDING LIVING ROOM): 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 16" O.C. MAX. FIRST FLOOR SHALL RECEIVE R-30 F.G. INSULATION.
- 29 SIMPSON POST BASE MODEL CB544.
- 30 SIMPSON POST CAP MODEL PC44.
- 31 SIMPSON FACE MOUNT HANGER MODEL HHUS210-2
- 32 SIMPSON TOP FLANGE HANGER MODEL MHAS5711-25



- 33 2 x 4 BOTTOM PLATE FASTENED TO CONC. SLAB FLOOR WITH 5/8" DIA. ANCHOR BOLTS @ 20" O.C. MAX. USE 5/16" x 3" DIA. WASHERS.
- 34 FOOTING F-4. SEE DRAWING No. 3 FOR DETAILS.
- 35 FOOTING F-2. SEE DRAWING No. 3 FOR DETAILS.
- 36 FOOTING F-1. SEE DRAWING No. 3 FOR DETAILS.
- 37 BEAM B-4. SEE DRAWING No. 14 FOR DETAILS.
- 38 BEAM B-1. SEE DRAWING No. 14 FOR DETAILS.
- 39 TYPICAL EXTERIOR CONCRETE BLOCK WALL CONSTRUCTION: MIN. 1/2" THK. STUCCO EXTERIOR FINISH OVER 8" CONC. BLOCK WALL W/CONC. FILLED CELL W/1) #5 VERT. BAR FROM FOOTING TO THE BEAM AT EVERY CORNER. AT EACH SIDE OF WALL OPENING 6" x 6" CONC. IN FIELD. HOOKED & TIED BEFORE INSPECTION. LAPPED 40 DIA. MINIMUM.
- 40 5/8" GYP. BOARD ON R-4.2 F.F. RIGID INSULATION OVER 1 X 2 P.T. FURRING STRIPS @ 16" O.C. MAX. ON 8" CONCRETE BLOCK WALL.
- 41 5/8" F.R. GYP. BOARD AT GARAGE CEILING.
- 42 SIMPSON FLOOR TRUSS/STUD WALL ANCHOR MODEL HETA 18. TYP. AT EACH STUD.
- 43 BEAM B-3. SEE DRAWING No. 14 FOR DETAILS.
- 44 P.T. 2 X 12 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/ 5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAXIMUM.
- 45 8" x 10" CONC. TIE BEAM W/ (2) # 5 HORIZONTAL BARS CONT.
- 46 P.T. 2 X 8 PLATE CONT. FASTENED TO THE BEAM W/5/8" DIA. ANCHOR BOLTS AT 24" O.C. MAX.
- 47 BEAR LOGGIA DECK CONSTRUCTION: 2" CONC. MUD OVER 15# FELT ON 3/4" CDX PLYWOOD DECK OVER 2 X 12 DECK JOISTS AT 16" O.C. MAXIMUM.
- 48 FOR LEDGER PLATE/JOIST/HANGER CONNECTIONS USE SIMPSON LALLY COLUMN CAP MODEL LCC3.5-3.5.
- 49 HANGER MODEL HUS20 (EVE EACH JOIST). FOR FLOOR JOIST/TIE BEAM CONNECTION USE SIMPSON ANCHOR MODEL HETA 18 & SIMPSON ANGLE MODEL HUS 26 (EVE EACH JOIST).
- 50 METAL COPPER ROOF FINISH ON 30# DRY-IN FELT OVER 1/2" CDX PLYWOOD DECKING OVER 2 X 8 CYPRESS RAFTERS @ 24" O.C. MAX.
- 51 SIMPSON JOIST HANGER MODEL HUS28.
- 52 SIMPSON HURRICANE ANGLE MODEL HCA10. TYP. EACH SIDE OF BRACKET.
- 53 SIMPSON JOIST HANGER MODEL HUS28-2.
- 54 P.T. 2 X 8 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAX.
- 55 1" x 6" PLYWOOD SUBFLOOR GLUED & NAILED OVER 2 X 8 FLOOR JOISTS @ 16" O.C. MAX. AND R-30 F.G. INSULATION.
- 56 SCULPTURED CUT-OUT WITH 1 X 1 P.T. DRIP EDGE COVERED W/COPPER DRIP.
- 57 2 X 4 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS.

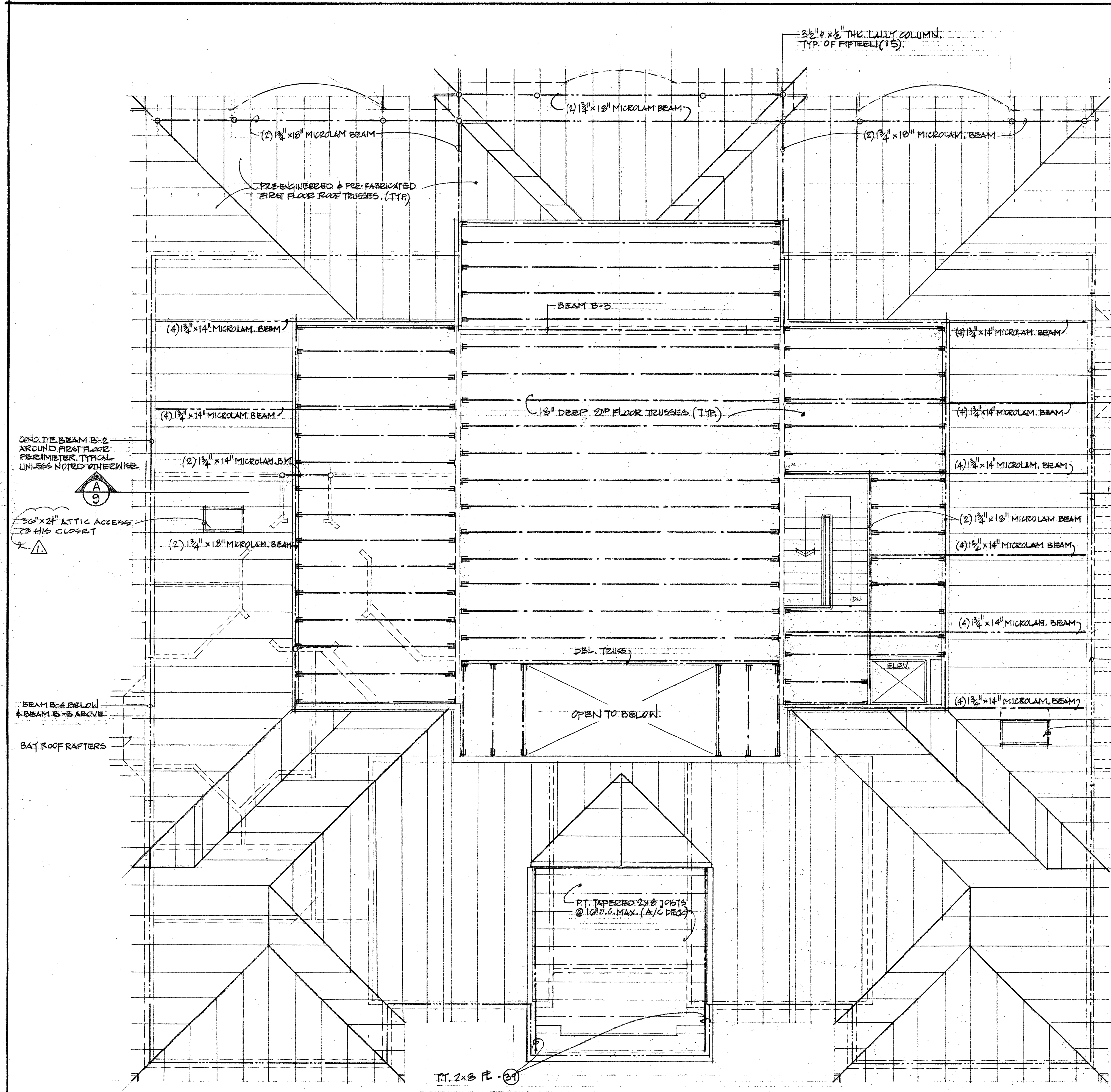


KITCHEN / LOGGIA FLOOR FRAMING PLAN. SCALE: 1/4" = 1'-0"



TYPICAL WD. STAIR SECTION. SCALE: 1" = 1'-0"

STAIR #1	- R = 7 1/2"	T = 10"
STAIR #2	- R = 7 1/2"	T = 10"
STAIR #3	- R = 7 1/2"	T = 10"
STAIR #4	- R = 7 1/2"	T = 10"
STAIR #5	- R = 7.43"	T = 10"
STAIR #6	- R = 7.15"	T = 10"



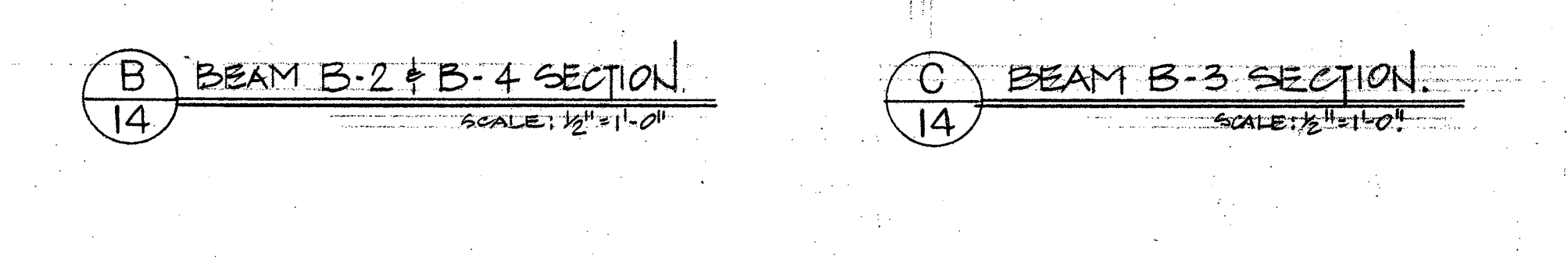
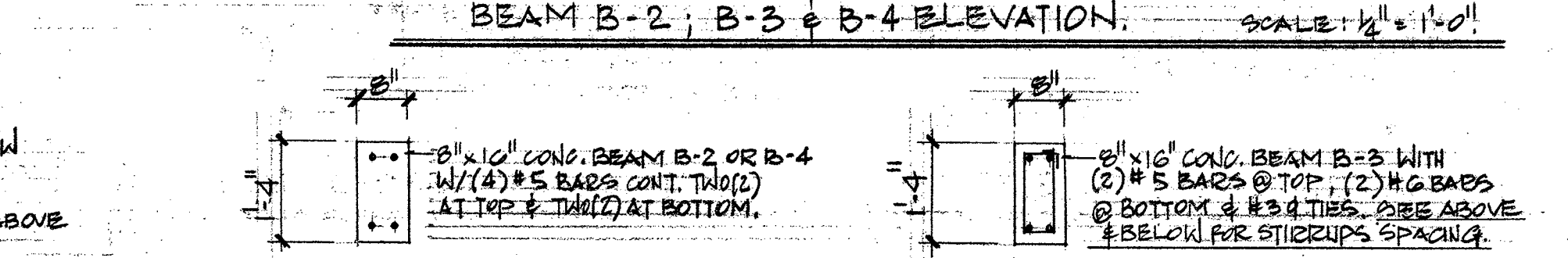
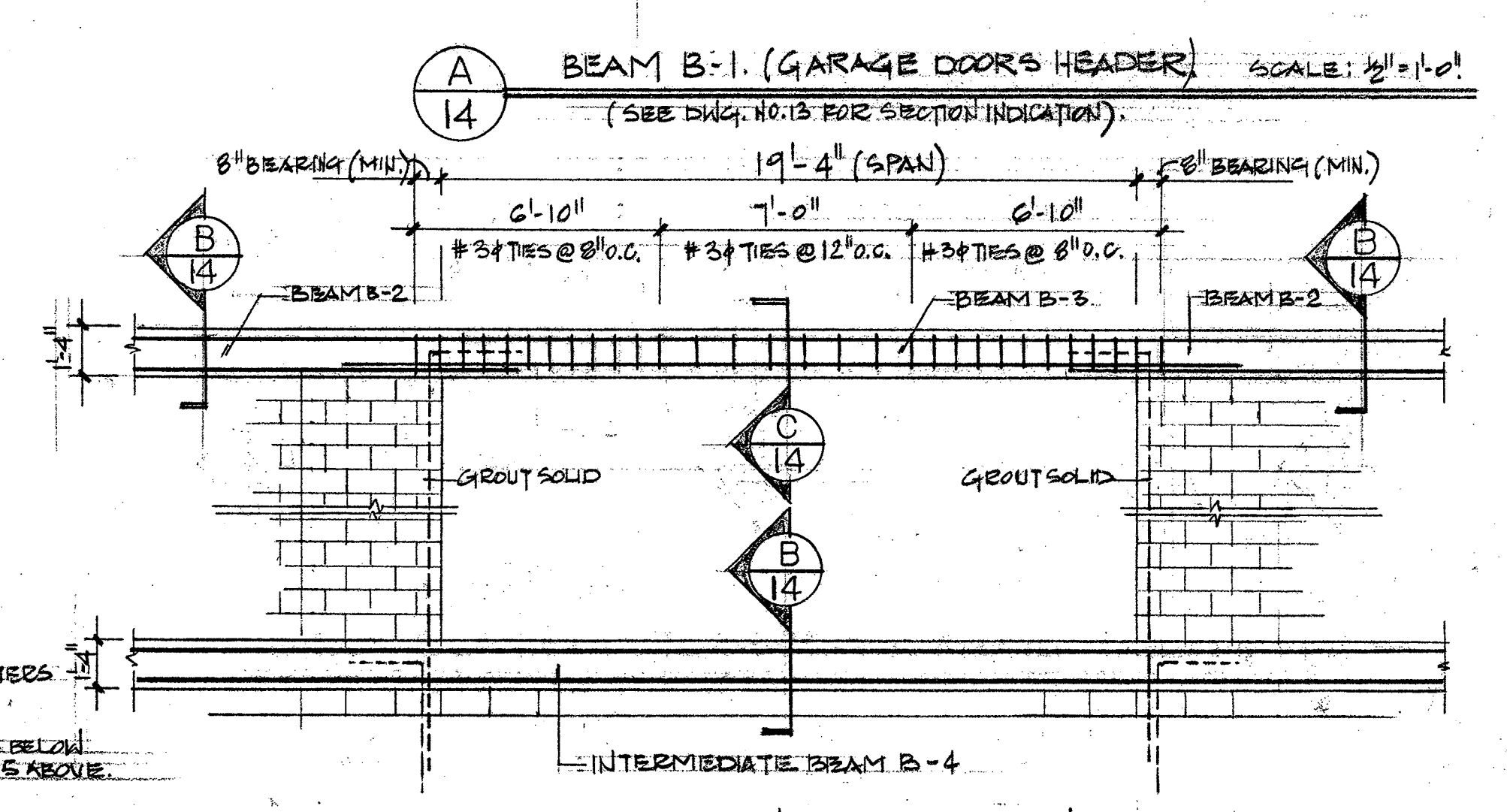
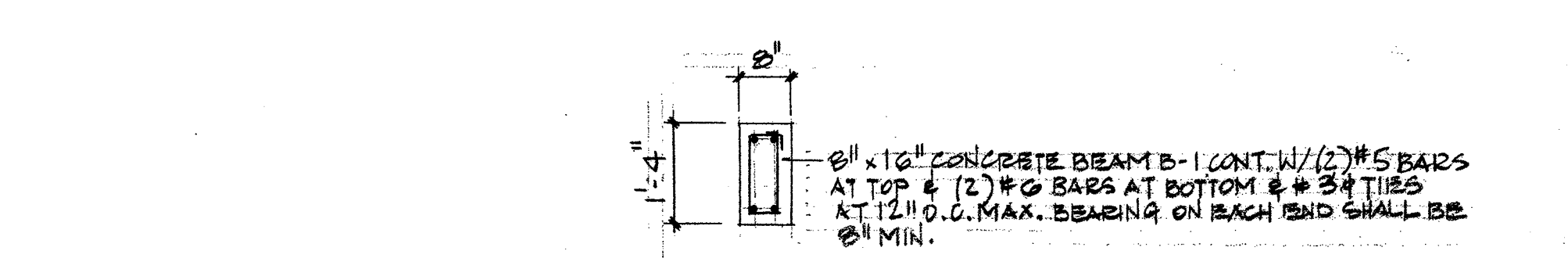
CONC. TIE BEAM B-2 AROUND FIRST FLOOR PERIMETER, TYPICAL UNLESS NOTED OTHERWISE

30" x 24" ATTIC ACCESS @ HIS CLOSET

BEAM B-4 BELOW & BEAM B-5 ABOVE

BAY ROOF RAFTERS

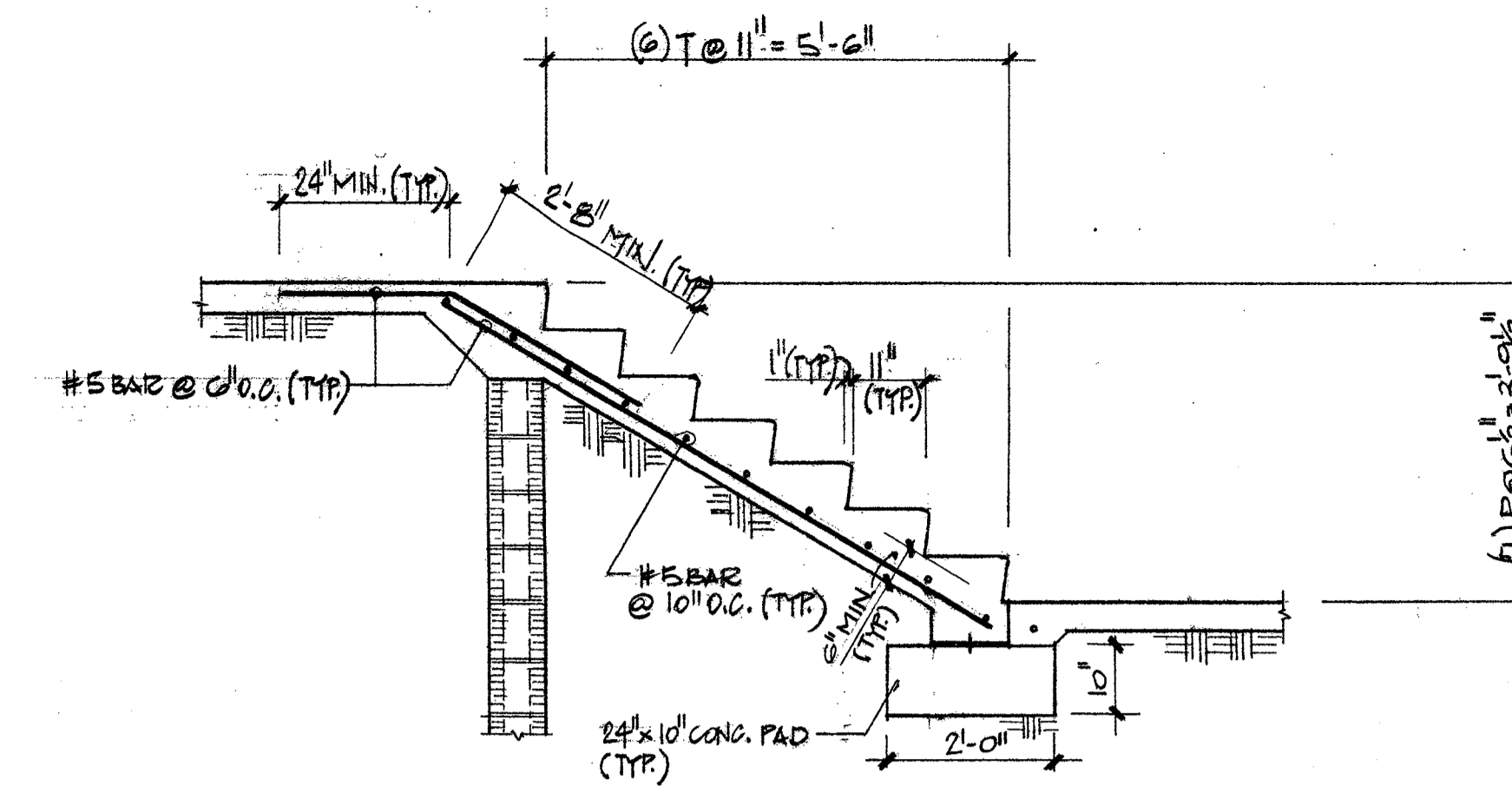
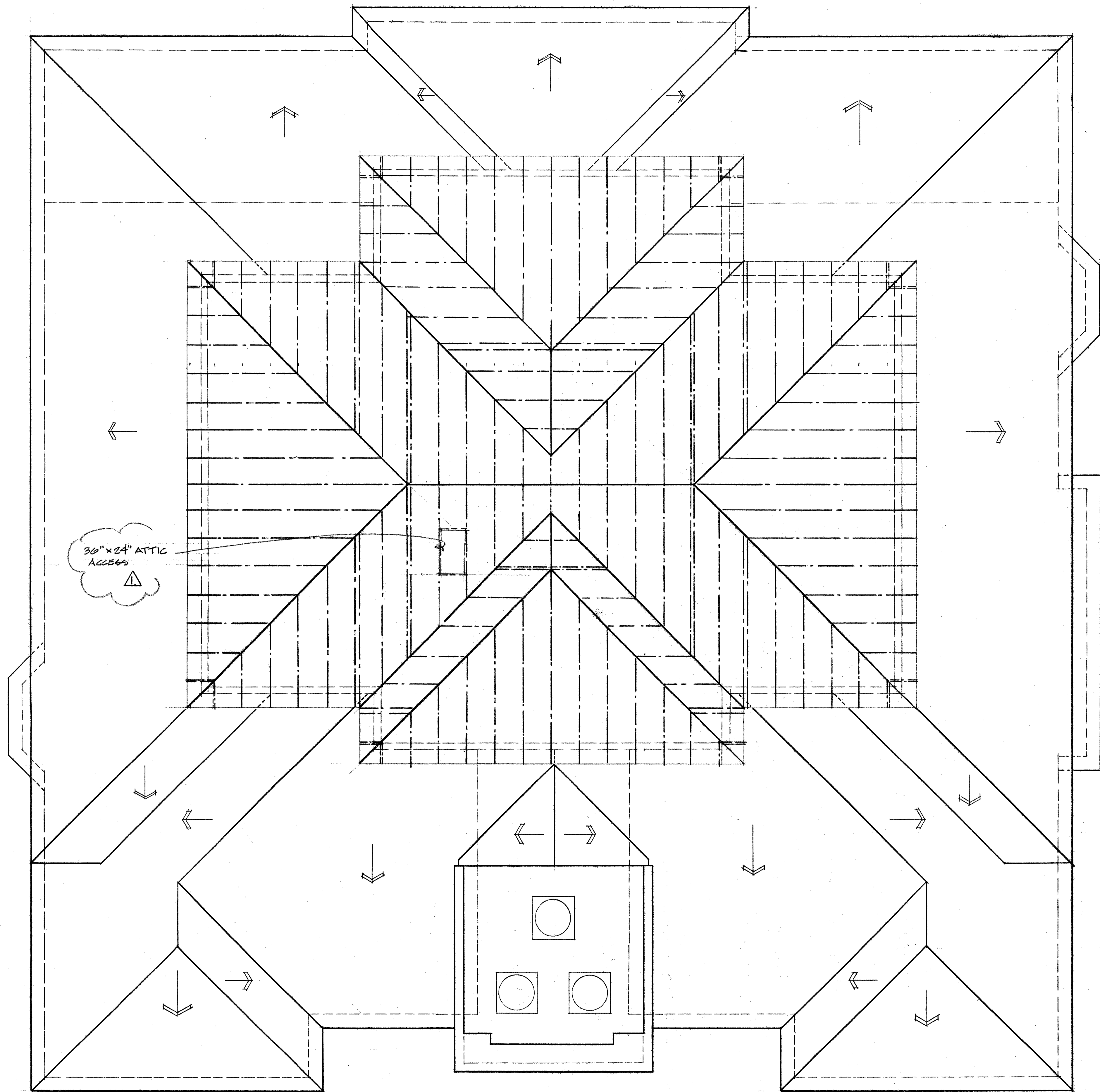
PT. 2 x 8 FT. (3)



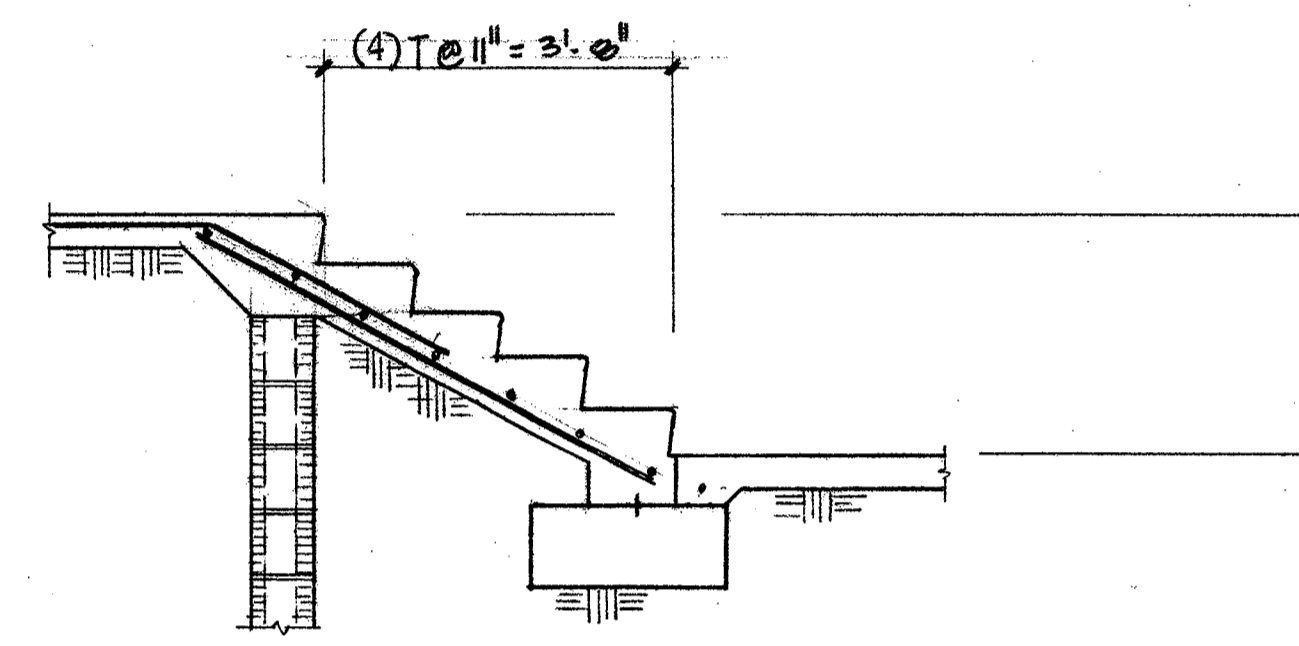
FIRST FLOOR ROOF FRAMING / SECOND FLOOR FRAMING PLAN. SCALE: 1/4" = 1'-0"

REVISION PER. BLDG. DEPT.

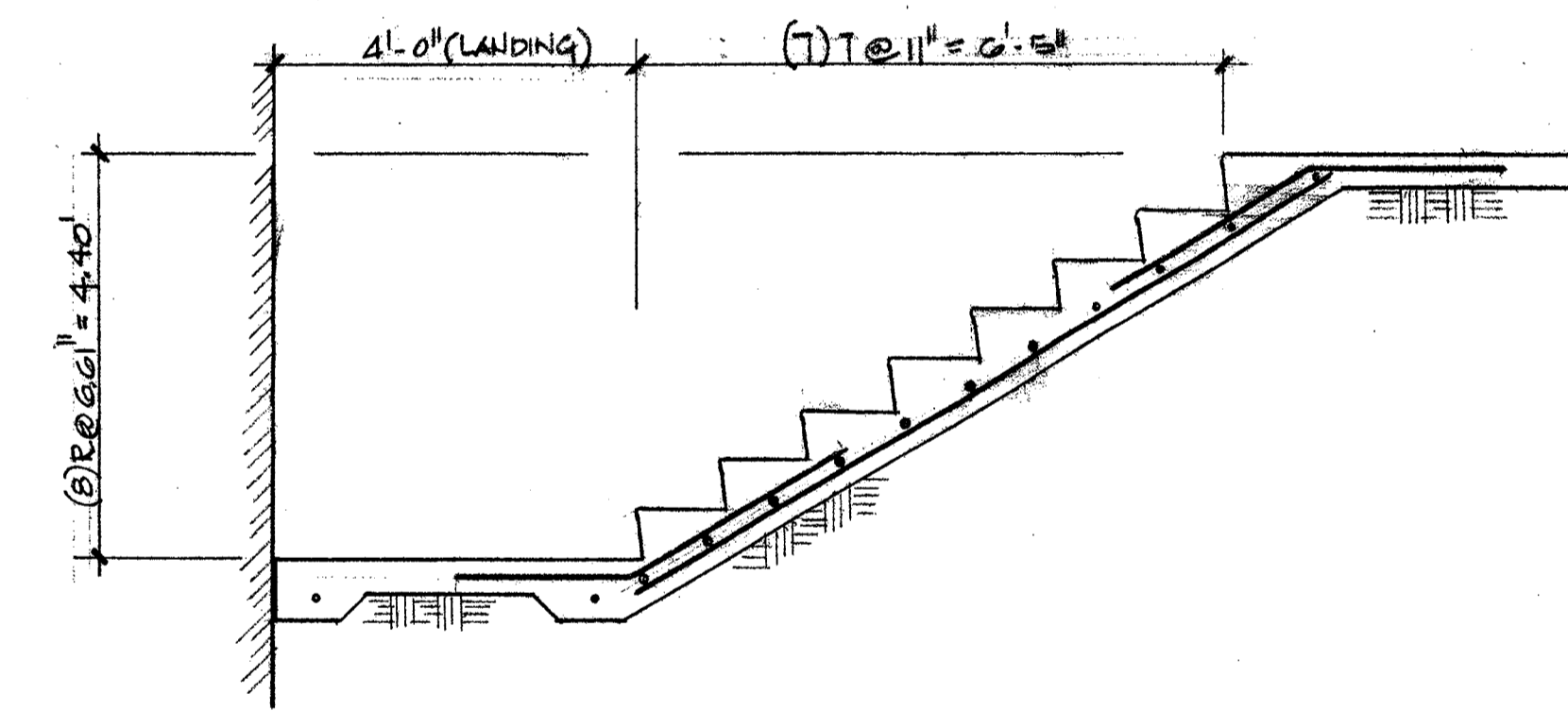
WM. THORNING LITTLE, ARCHT. P.A.
 5517 S. PINEAPPLE AVENUE, SARASOTA, FLORIDA 34236 (841) 965-9284 FAX (841) 965-9725
 PROPOSED RESIDENCE FOR MR. & MRS. PAUL MOBLEY
 3500 PATOU LOUISE LANE SARASOTA, FLORIDA
 DATE: 10-31-01
 SHEET: 14
 14 of 14



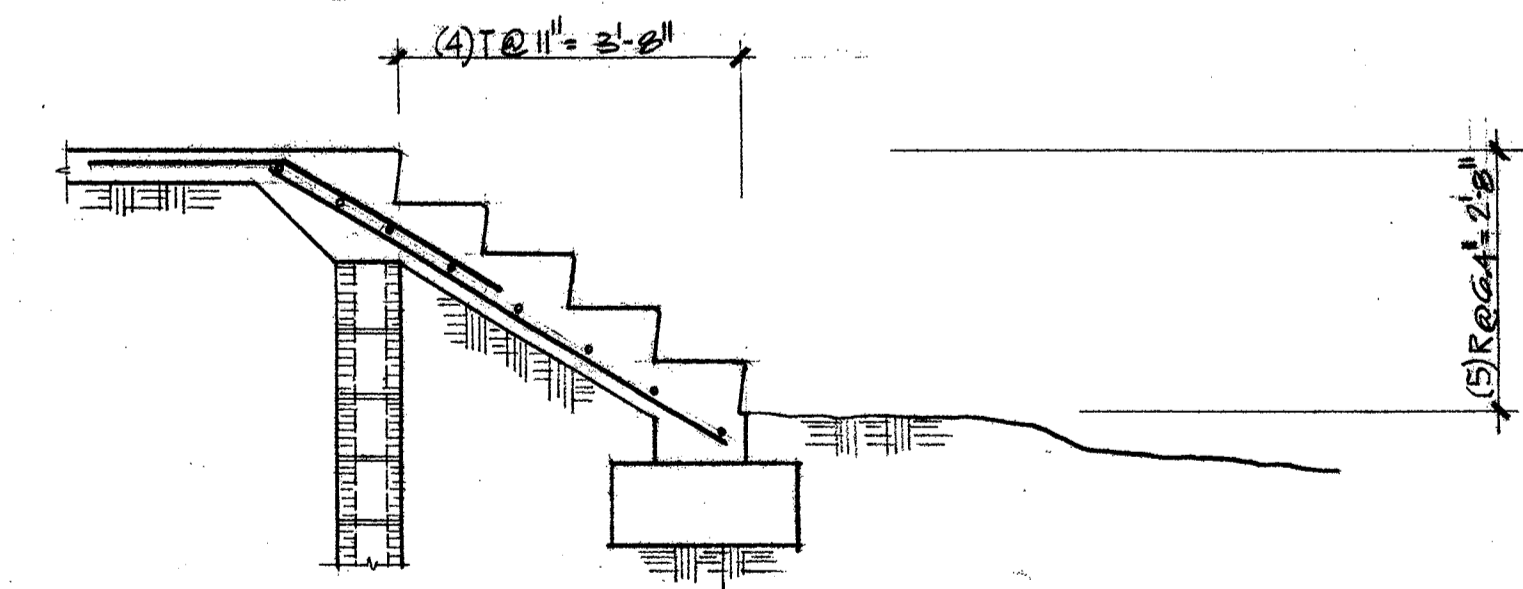
A SECTION (CONC. STAIR TYPE "A"). SCALE: 1/2" = 1'-0"



B SECTION (CONC. STAIR TYPE "B"). SCALE: 1/2" = 1'-0"



C SECTION (CONC. STAIR TYPE "C"). SCALE: 1/2" = 1'-0"



D SECTION (CONC. STAIR TYPE "D"). SCALE: 1/2" = 1'-0"

NOTE: ALL EXTERIOR CONCRETE STAIRS TO BE FORMED & POURED IN PLACE. VERIFY SIZE/CONFIGURATION WITH CAST STONE (IF REED).

REV.

DATE: 10-31-01
01-08-02

SHEET: 15
15 OF 27

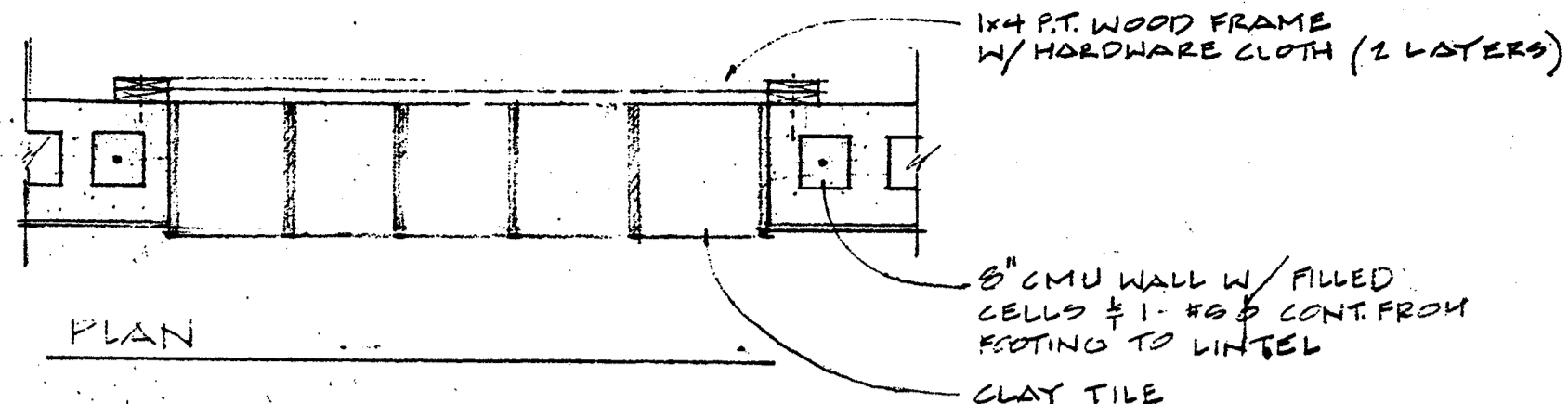
WM. THORNING LITTLE, ARCH'T., P.A.
537 S. PINNACPLE AVENUE, SARASOTA, FLORIDA 34230 (841) 365-9284 FAX (841) 365-8725

Wm. Thorning Little, Arch't.
ISC AR 0009347 COA AA 0002677
These drawings were prepared in compliance with all applicable minimum building codes and minimum fire safety standards in accordance with chapters 553 and 633 of the Laws of Florida, along with all other related municipal ordinances.

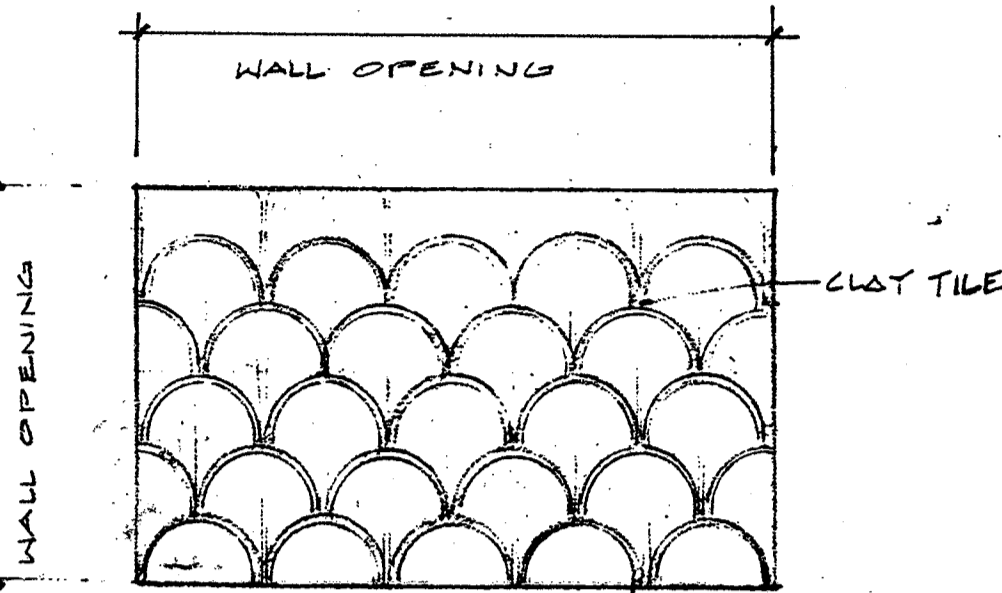
PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
3500 BAYOU LOUISE LANE
SARASOTA, FLORIDA

FLOW THRU VENT DETAILS

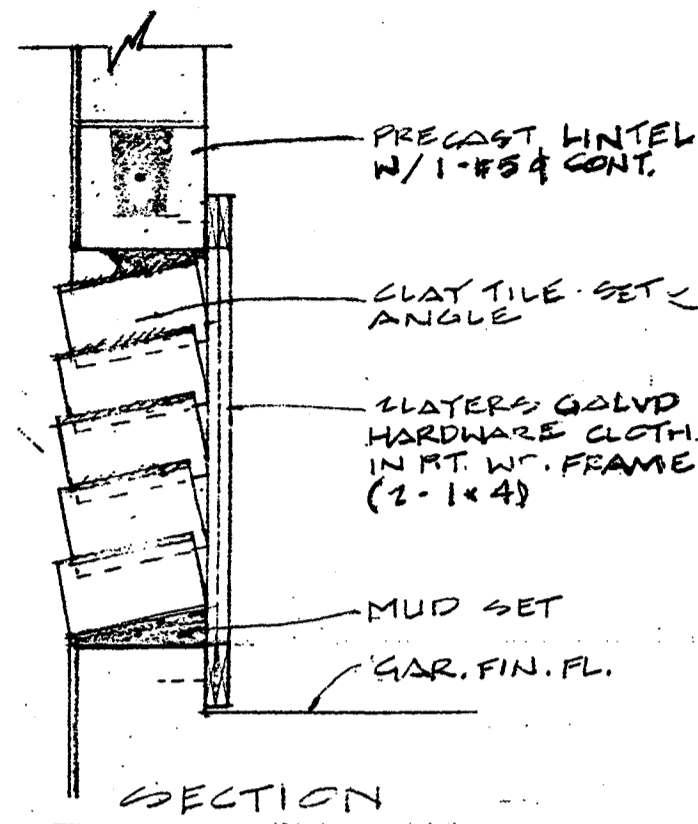
SCALE: 1" = 1'-0"



PLAN



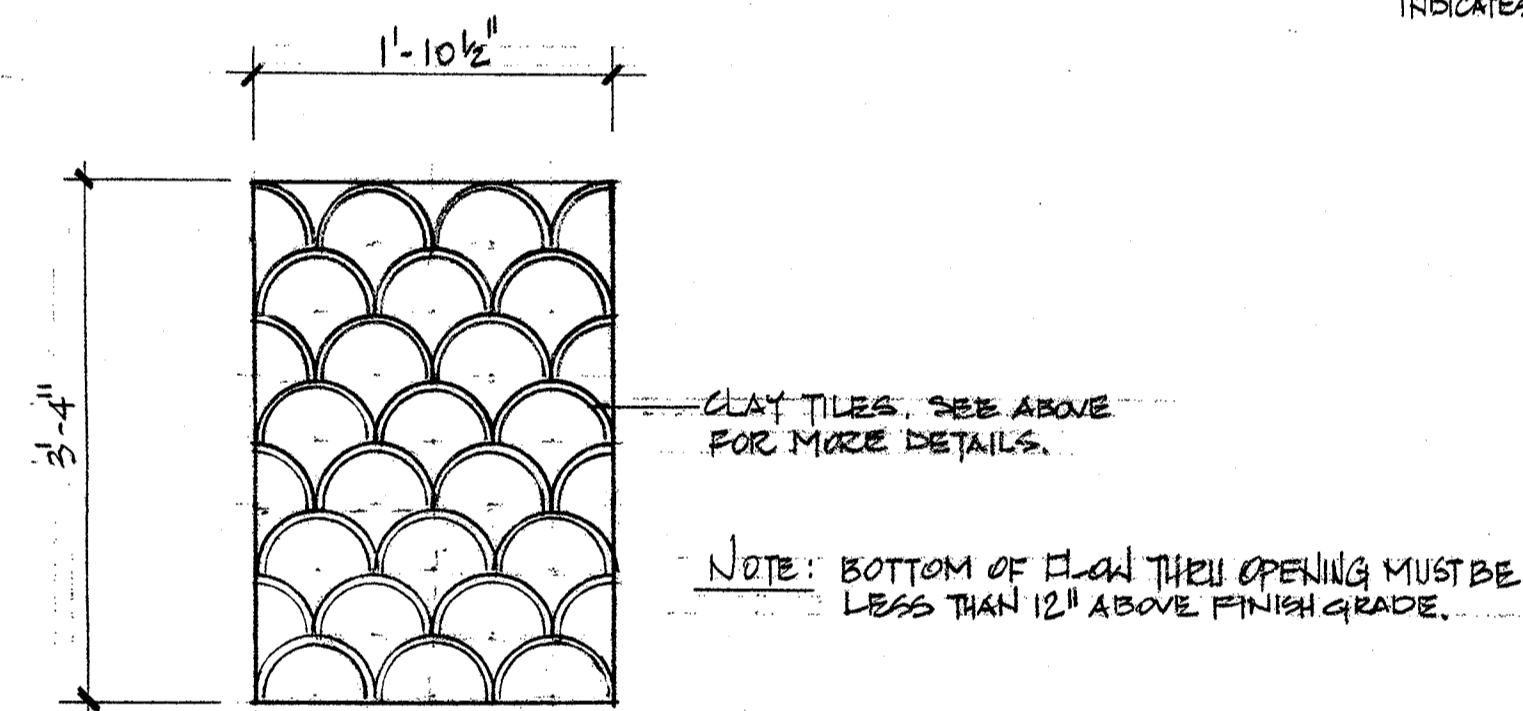
ELEVATION



SECTION

FRONT WALL VENT DETAILS

N.T.S.

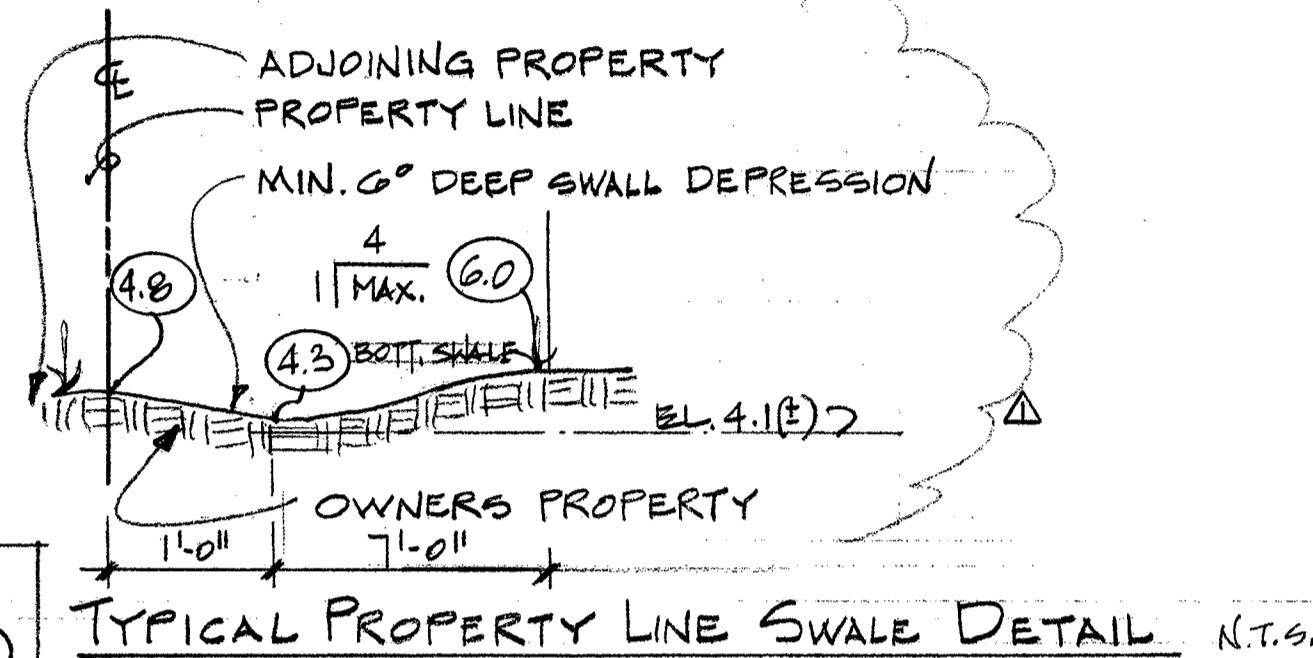
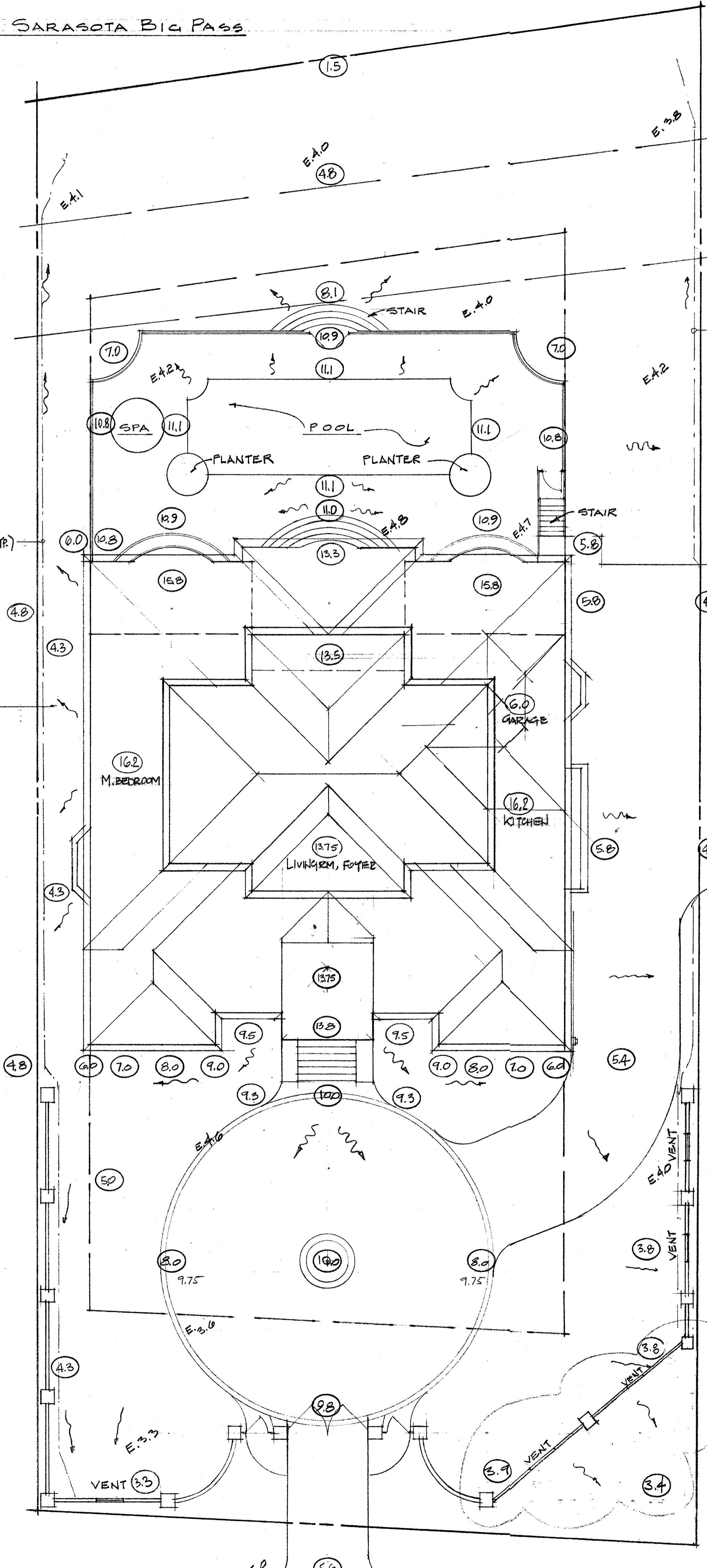


GARAGE FLOW THRU VENT. TEN (10) REQUIRED. SCALE: 1" = 1'-0"

GARAGE FLOW THRU VENT CALCULATIONS:

FLOW THRU PER SQUARE FOOT: AREA: 144 sq. in.
TILE OBSTRUCTION: 22.25 sq. in.
SCREEN OBSTRUCTION: 36.0 sq. in.
TOTAL AREA PER 15/8 FT. OF FLOW THRU: 144 - 22.25 - 36 = 85.75 sq. in.
GARAGE/CRAWL SPACE AREA: 5020 sq. ft.
REQUIRED TOTAL AREA OF FLOW THRU VENTS: 5020 sq. in.
AREA OF ONE (1) FLOW THRU VENT: 3'-4" x 1'-10 1/2" x 87.75 = 548 sq. in.
PROVIDED TOTAL AREA OF FLOW THRU VENTS: 548 sq. in. x 10 VENTS = 5480 sq. in.

SARASOTA BIG PASS



- NOTES:
- SURFACE SLOPES SHALL NOT EXCEED ONE FOOT VERTICAL RISE IN SIX FEET HORIZONTAL DISTANCE WITHIN FIVE FEET OF ANY PROPERTY LINE.
 - ALL ON SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF-SITE DRAINAGE FACILITY
 - BERMED EDGE ON OWNERS PROPERTY OR SWALE ON OWNERS PROPERTY TYPICAL AT EACH SIDYARD
 - NO DISCHARGE PIPES ARE PERMITTED INTO BIG PASS
 - A SILT FENCE IS TO BE INSTALLED & MAINTAINED AT LEAST 10' LANDWARD OF EXISTING SEA WALL. INSTALLATION & INSPECTION TO BE MADE BY RESOURCE PERMITTING DIVISION PRIOR TO CONST.
 - NO EARTH FILL OR STORAGE OF CONST. MATERIALS TO BE BETWEEN FENCE & SEAWALL

ALL DRIVEWAY & RELATED DOWNSPOUT DRAINAGE @ THIS AREA TO BE CONTAINED TO FLOW DOWN DRIVE TO STREET.

SITE DRAINAGE PLAN 1" = 10'

REVISIONS:
 (1) (01-08-02) PER CITY OF SARASOTA BLDG. ZON.
 (2) (01-11-02) PER CITY OF SARASOTA BLDG. ZON.

WM. THORNING LITTLE, ARCH'T., P.A.
 537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

WM. Thorning Little, Arch't.
 COA AA 0002677
 BSC AR 0009347
 To the best of my knowledge, these plans and specifications comply with the Florida Building Code, Florida Building Standards in accordance with chapters 553 and 633 of the Law of Florida, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
 MR. & MRS. PAUL MOBLEY
 3500 PAVOU LOUISE LANE SARASOTA, FLORIDA

DATE:
 10-31-01
 01-08-02
 01-11-02
 1-28-02

SHEET:
 2 OF 27

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THK.	TYPE	FRAME	HARDWR.	FINISH	REMARKS
A	PR. 3'-0"							
B	PR. 2'-6"	8'-0"						
C	PR. 3'-0"	8'-0"						
D	PR. 2'-6"	8'-0"						
E	2'-8"	8'-0"						
F	2'-6"	8'-0"						
G	2'-4"	8'-0"						
H	2'-0"	8'-0"						
I	PR. 2'-0"	8'-0"						
J	PR. 2'-6"	"						
K	2'-8"	"						
L	PR. 1'-6"	"						
M	3'-0"	"						
N	3'-0"	"						
O	7'-0"	7'-0"						GARAGE OVERHEAD DOOR
P	8'-0"	7'-0"						

GENERAL NOTES:

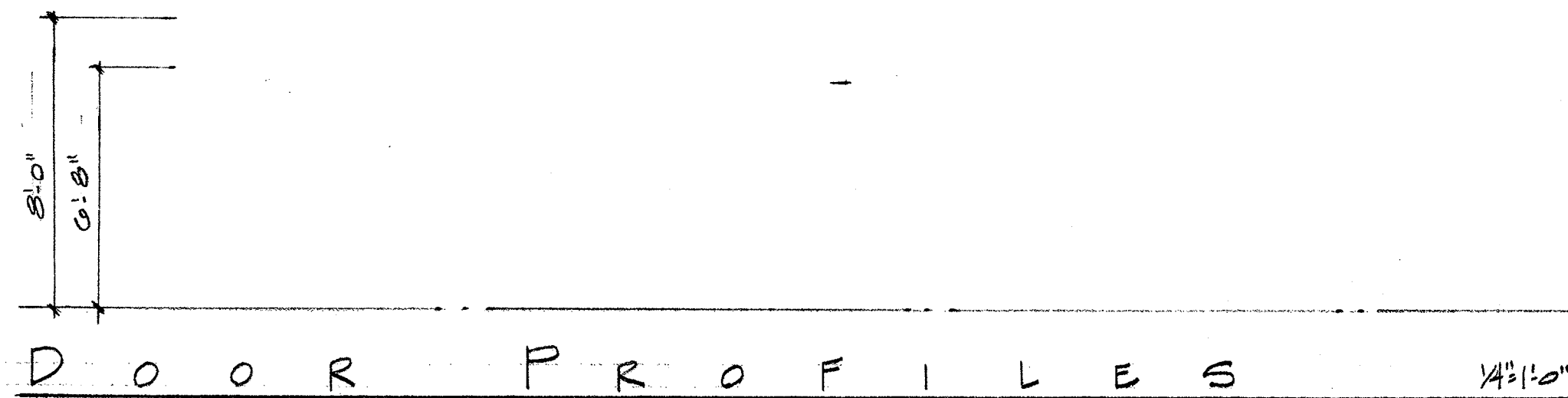
1. STANDARDIZED (APPROX.) DOOR & WINDOW SIZES ARE PROVIDED. CONTRACTOR IS TO CONFIRM ALL ACTUAL OPENING SIZES FOLLOWING FINAL SELECTION OF MANUFACTURED BRAND
2. CONTRACTOR TO VERIFY W/OWNER ALL EQUIPMENT FOR APPROVAL

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	MFG.	TEMP'D	EGRESS	REMARKS
1	6'-0"						
2	3'-4"						
3	2'-6"	4'-0"					
4	2'-0"	3'-6"					
5	2'-0" φ						
6	6'-0"	4'-8"					
7	3'-0"	3'-6"					
8	6'-0"	3'-6"					
9	6'-0"	5'-0"					
10	6'-0"	4'-6"					
11	5'-0"	3'-6"					
12							BAY WINDOW
13							BAY WINDOW
14	2'-6"	6'-0"					
15							

DOOR HARDWARE SCHEDULE

- | | |
|----------------|--------------------|
| H - HINGES | T - THRESHOLDS |
| KS - KNOB SETS | W - WEATHER STRIP |
| D - DEAD BOLTS | F - FEET SITE |
| S - STOPS | R - ROLLER CATCHES |
| G - CLOSURES | CB - CREMON BOLTS |



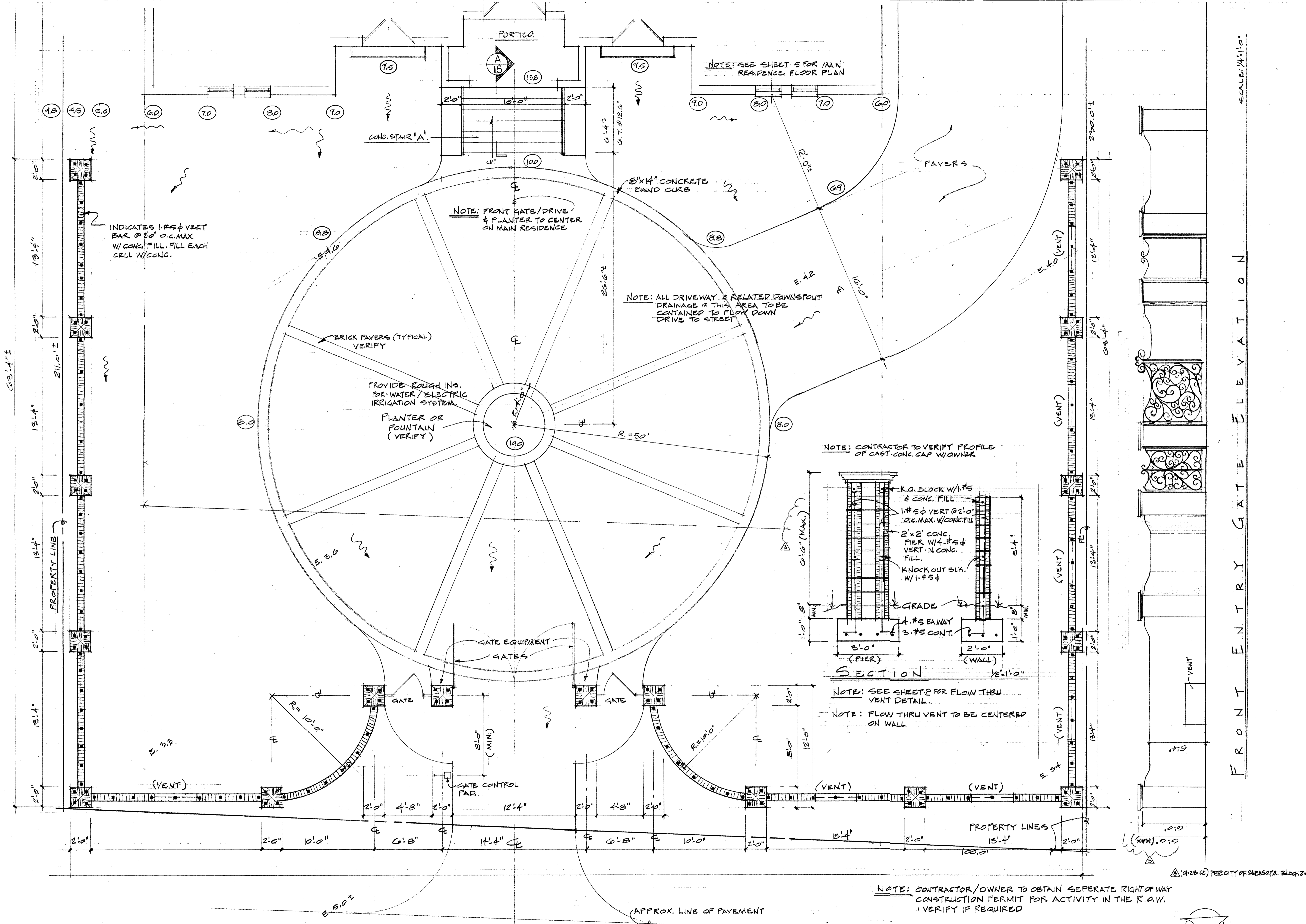
WM THORNING LITTLE ARCHT. P.A.
537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-9725

WM Thorning Little, Archt. P.A. is a registered professional architectural firm in the State of Florida. The firm is licensed under Chapter 481, Florida Statutes, and is a member of the Florida Board of Architecture. The firm is also a member of the American Institute of Architects (AIA) and the Florida Institute of Architects (FIA). The firm is responsible for the preparation of architectural drawings and specifications for the proposed residence. The drawings and specifications are prepared in accordance with the Florida Building Code and the Florida Fire Code. The firm is not responsible for the structural design of the residence. The firm is also responsible for the preparation of the contract documents for the proposed residence. The contract documents are prepared in accordance with the Florida Building Code and the Florida Fire Code. The firm is not responsible for the construction of the residence. The firm is also responsible for the preparation of the final architectural drawings for the proposed residence. The final architectural drawings are prepared in accordance with the Florida Building Code and the Florida Fire Code. The firm is not responsible for the construction of the residence.

PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
3500 PATOU LOUISE LANE SARASOTA, FLORIDA

DATE: 10.31.01

SHEET 17 OF 27

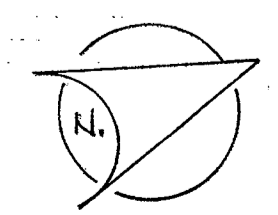


BAYOU LOUISE LANE
 (-25' PUBLIC ACCESS EASEMENT)

ENTRY AREA PLAN

FRONT ENTRY GATE ELEVATION

SCALE: 1/4"=1'-0"



WM. THORNING LITTLE, ARCHT., P.A.
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Win. Thorning Little, Archt.
 RSC AR 0009347 COA AA 0002477
 To the best of my knowledge, these plans and specifications comply with the standards in accordance with chapters 553 and 633 of the Laws of Florida, along with all other related municipal ordinances.

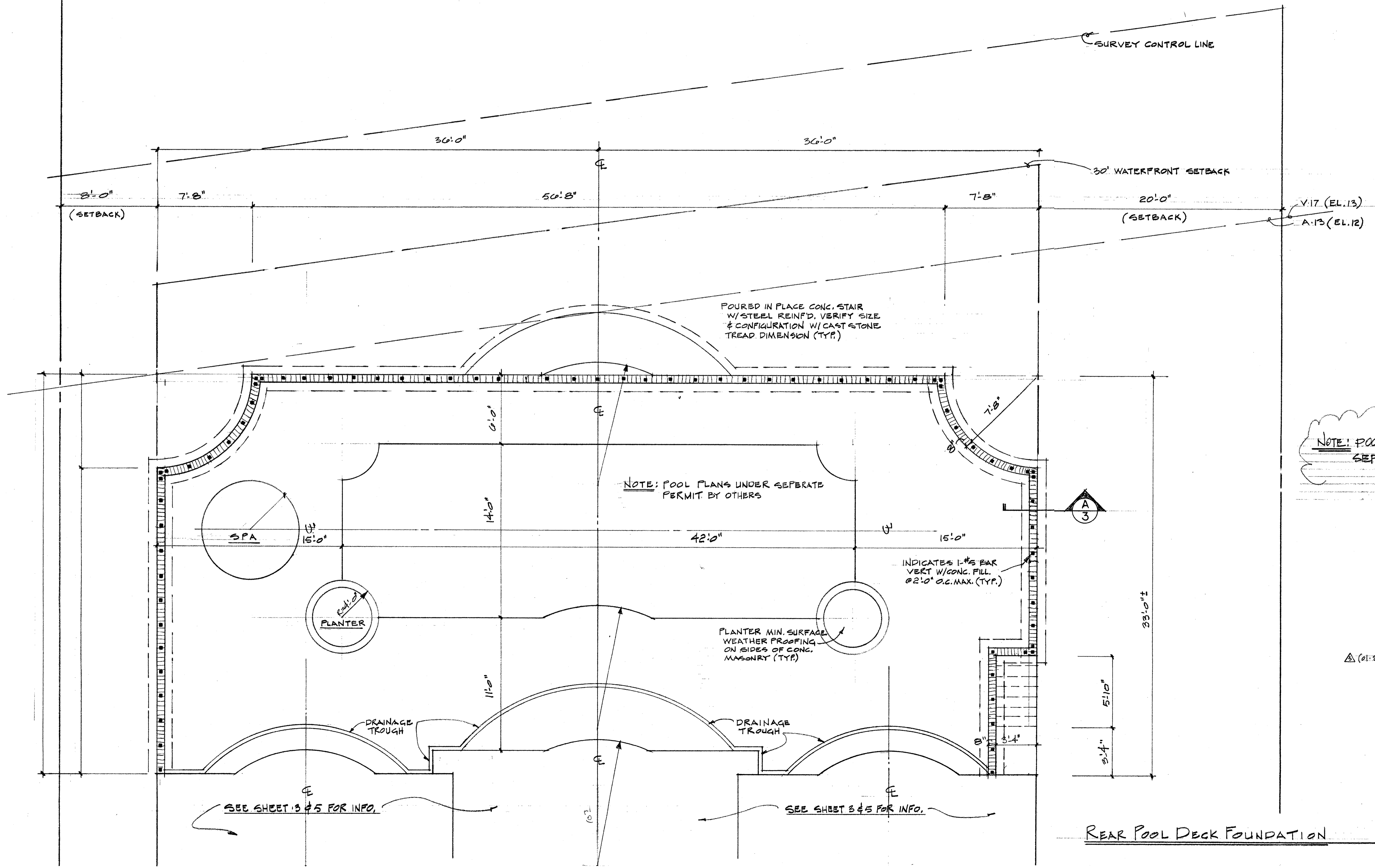
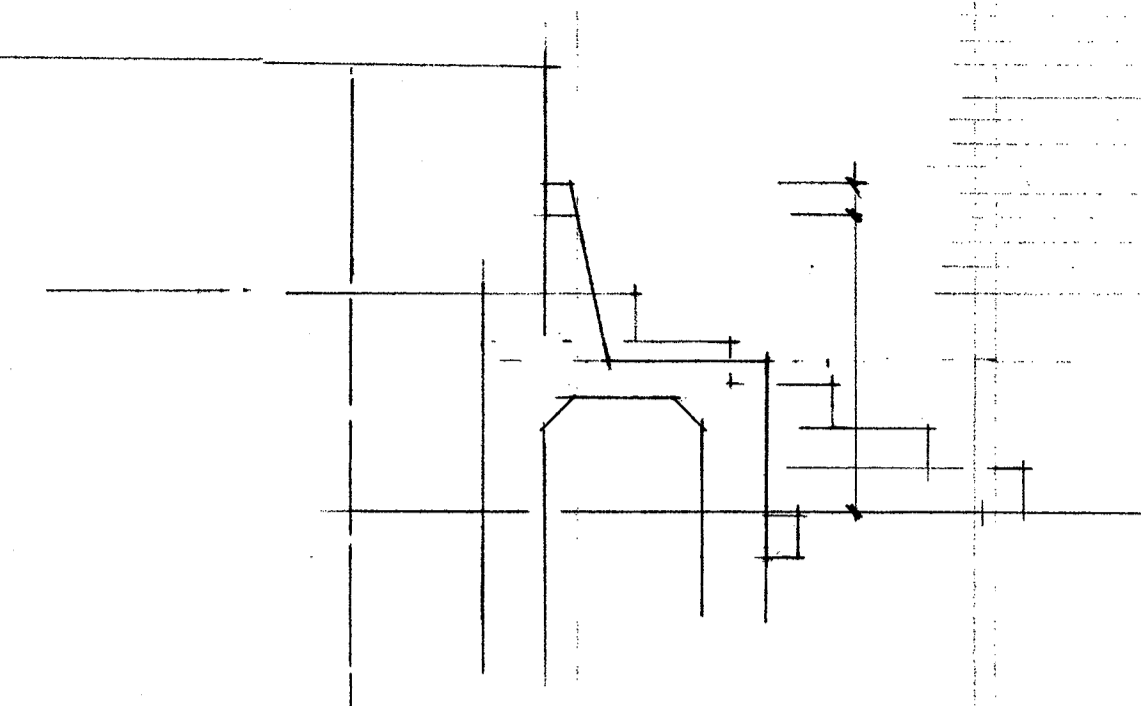
PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
 3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE 10-31-01

SHEET 18 OF 27

SECTION

SCALE: 1/2"=1'-0"



NOTE: POOL & SPA TO BE UNDER SEPARATE PERMIT BY OTHERS.

△ (01.28.02) PER CITY OF SARASOTA BLDG. ZON.

REAR POOL DECK FOUNDATION

SCALE: 1/4"=1'-0"

WM. THORNING LITTLE ARCHT. P.A.
 537 S. PINEAPPLE AVENUE, SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

PROPOSED RESIDENCE FOR
 MR. & MRS. PAUL MOBLEY
 2500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE:
 10-31-01

SHEET:
 19
 19 OF 27

Big Pass

APPROX. MEAN HIGH WATER

SURVEY CONTROL LINE

30' WATERFRONT SETBACK LINE

V.17 (EL 13)
A.13 (EL 12)

GENERAL NOTES

4" CONG. SLAB (3,000 P.S.I. MIN.) W/ 6x6-
W/4 x W/4 W.W.F. ON 6 MIL. VISQUEEN VAPOR
BARRIER OVER CLEAN & COMPACTED
& POISONED FILL.

ENGINEERED POOL PLANS TO BE UNDER
SEPERATE PERMIT BY OTHERS

CONTRACTOR TO VERIFY STAIR TREAD
DIMENSIONS W/ FINISH MATERIALS.

GUARDRAILS SHALL CONFORM TO SEC. 1110,
30" MIN. HT. AT ALL INTERMEDIATE RAILS SPACED
TO REJECT PASSAGE OF A 4" SPHERE. BOTTOM
CURB OR RAIL SHALL REJECT PASSAGE OF
A 2" SPHERE. GUARDRAIL SHALL BE CONST'D
TO WITHSTAND 200 LBS. FORCE APPLIED @ ANY
POINT OR DIRECTION

POOL TO BE CENTERED ON MAIN RESIDENCE
SPA TO BE CENTERED ON POOL & DECK

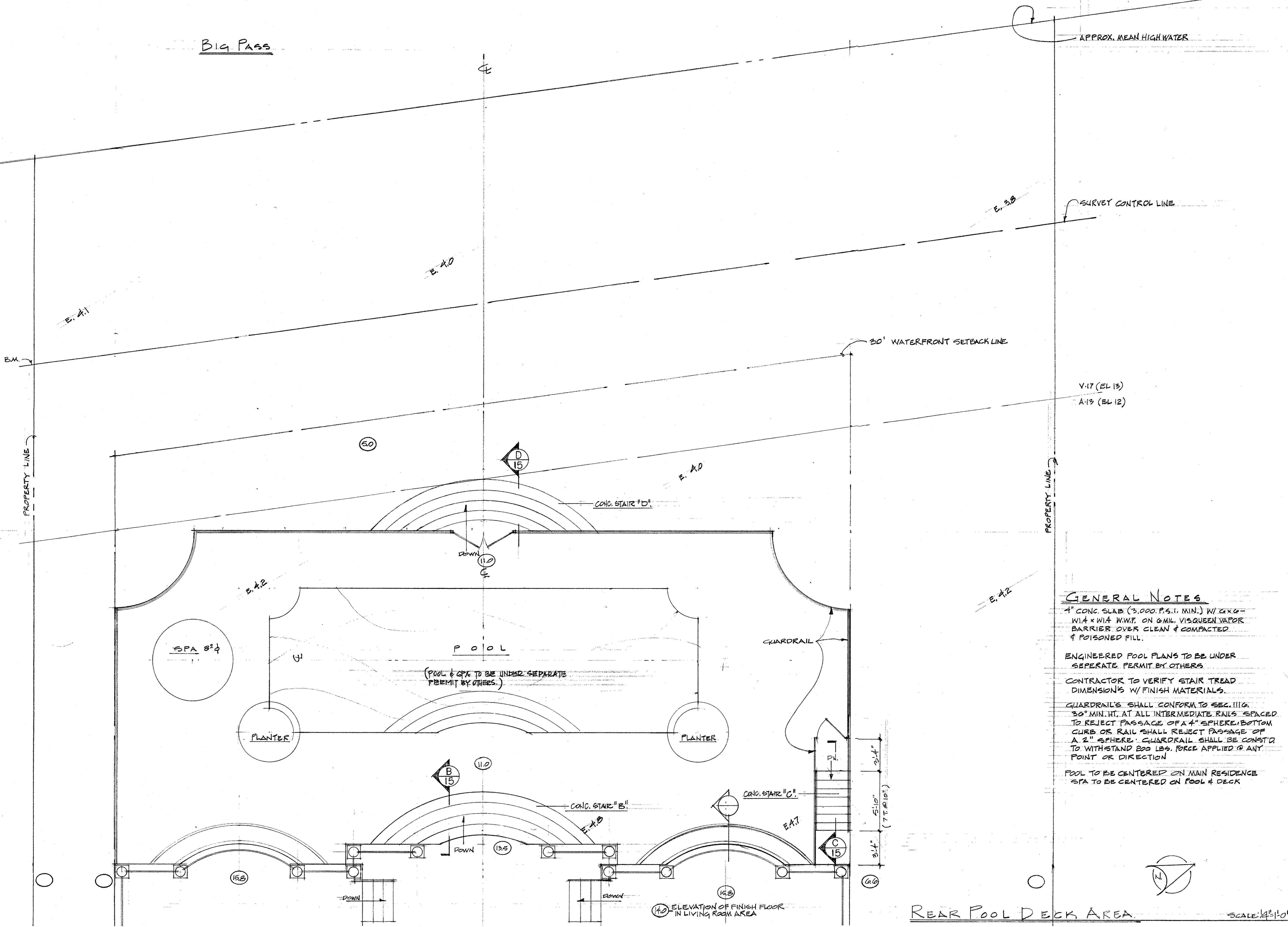
WM THORNING LITTLE, ARCHT. P.A.
557 S. PENNSAUPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9234 FAX (941) 365-9725

Wm. Thorning Little, Archt.
P.A. No. 13677
To the best of my knowledge, these plans and specifications comply
with all applicable minimum Building Codes and minimum Fire Safety
Codes of the State of Florida, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
MR. & MRS. PAUL MOBLEY
3500 PATAU LOUISE LANE SARASOTA, FLORIDA

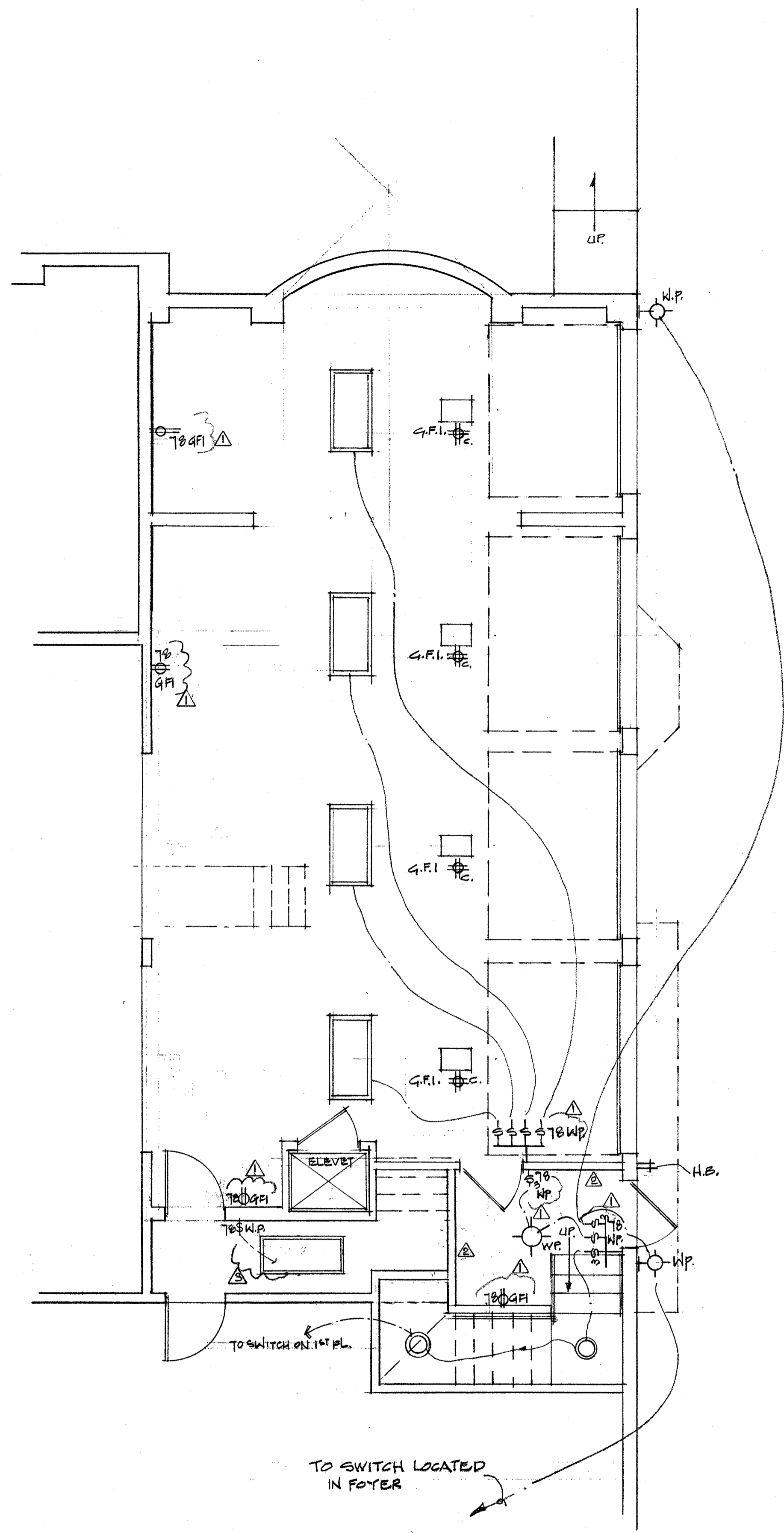
DATE:
10.31.01

SHEET
20
20 OF 27

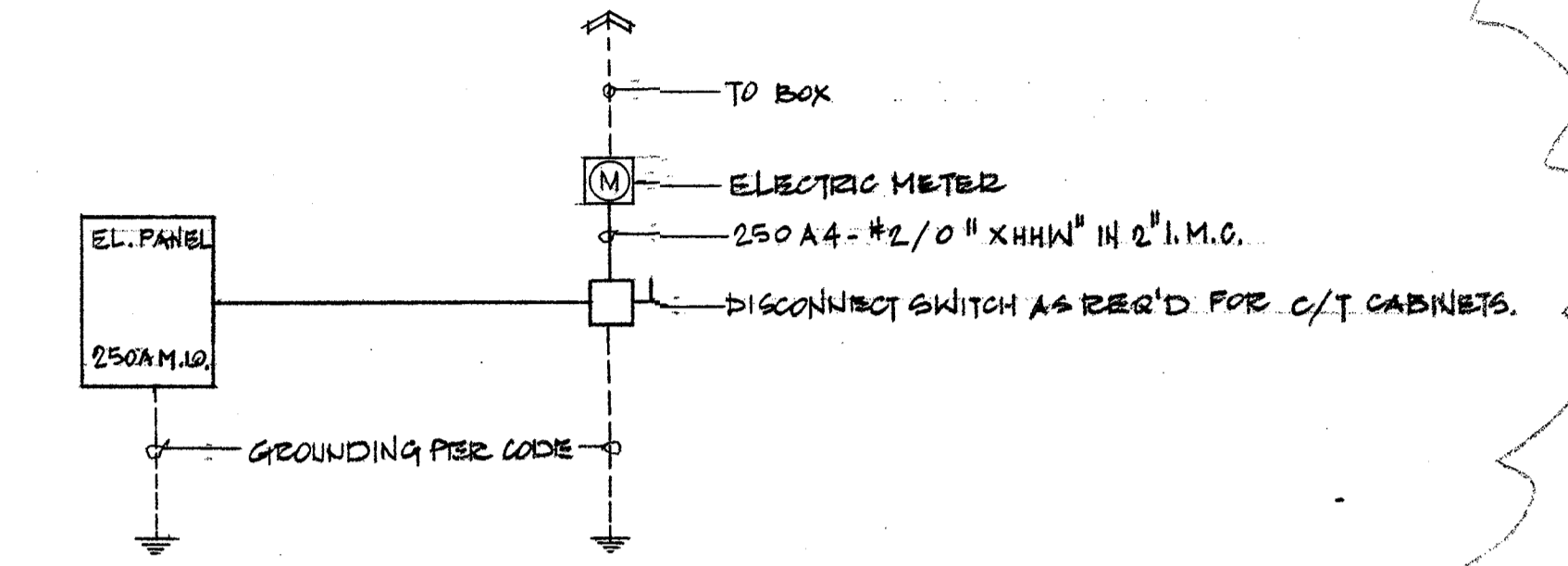


REAR POOL DECK AREA

SCALE: 1/4" = 1'-0"



NOTE:
 ELECTRICAL CONTRACTOR TO PROVIDE 30 CIRCUIT,
 WALL MOUNTED ELECTRICAL PANEL.
 VOLT/PHASE: 120/240V, 1P, 4W.
 MAINS (M.L.O.): 250 A M.L.O.
 FINAL REQUIREMENTS VERIFY WITH OWNER.

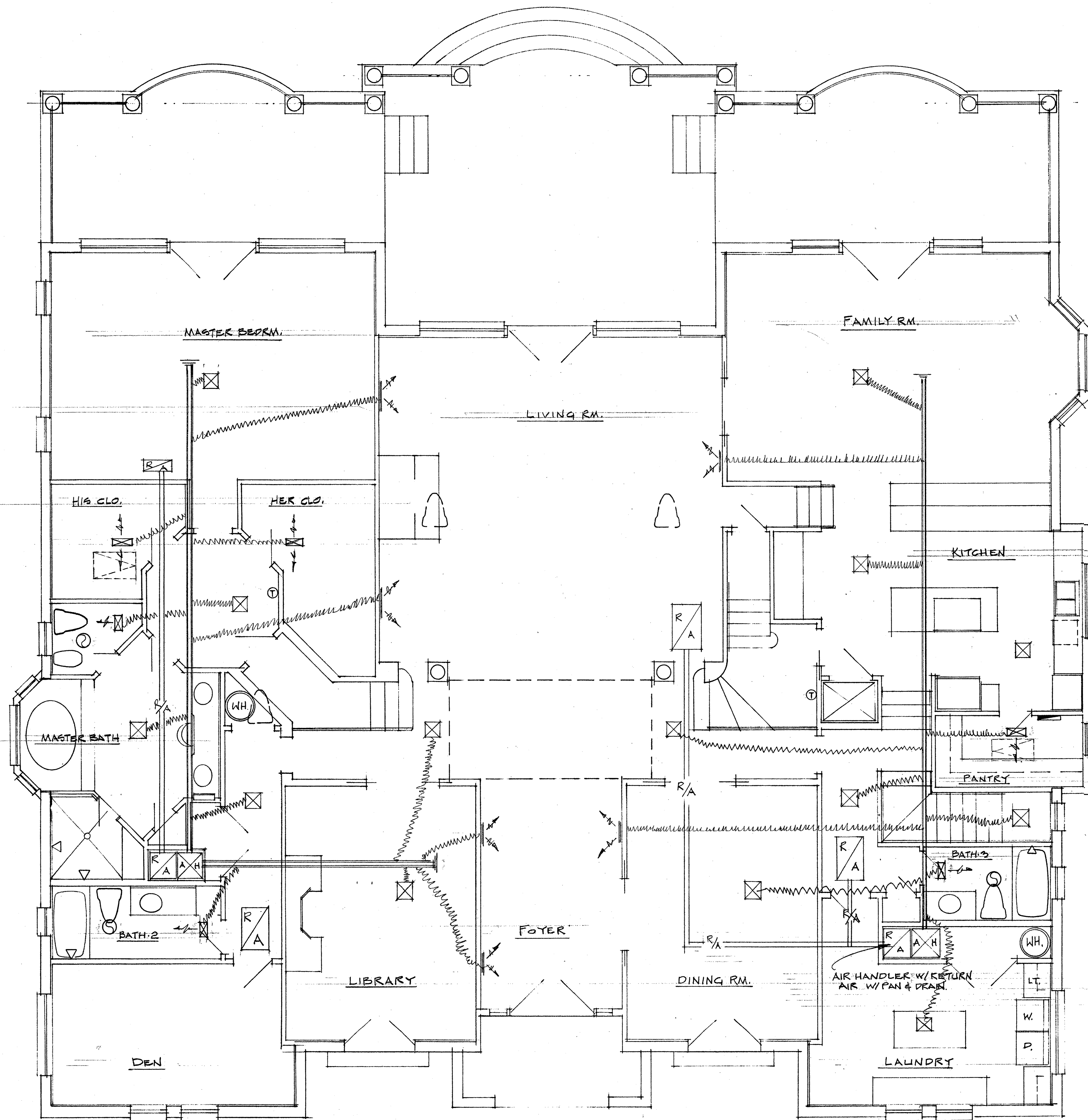


NOTES:
 1. MECHANICAL, PLUMBING & ELECTRICAL SHALL BE ABOVE BASE FLOOD ELEVATION.
 2. PROVIDE A FLOAT SWITCH FOR AN ELEVATOR IN GARAGE.

ELECTRICAL LEGEND	
⊙	Power Pole Location
⊞	Wall Mounted Switch
⊞	Wall Mounted Three Way Switch
⊞	Wall Mounted Four Way Switch
⊞	Wall Mounted Dimmer Switch
⊞	Wall Mounted 110V Duplex Receptacle
⊞	Floor Mounted Flush 110V Receptacle
⊞	Ceiling Mounted 110V Receptacle
⊞	Wall Mounted 220V Single Receptacle
⊞	Wall Mounted 220V Duplex Receptacle
⊞	Ceiling Mounted Incandescent Light Fixture
⊞	Ceiling Mounted Recessed Light Fixture
⊞	Wall Mounted Light Fixture
⊞	Spot Light Fixture
⊞	Wall/Ceiling Mounted Track Light Fixture
⊞	Hall Switched Receptacle
⊞	Ceiling Mounted Fluorescent Light Fixture
⊞	Junction Box
⊞	Cable TV
⊞	Telephone Jack
⊞	Coax Cable Receptacle
⊞	Thermostat
⊞	Garbage Disposal
⊞	Ceiling Fan
⊞	Push Button & Chimes
⊞	Lighted Exit Sign
⊞	Emergency Light Fixture w/ Battery Backup
⊞	Exhaust Fan
⊞	Combination Exhaust Fan/Light Fixture
⊞	Smoke Detector
⊞	Heat Detector
⊞	Horn & Strobe Light
⊞	Disconnect Switch
⊞	Electrical Panel
GFI	Ground Fault Interrupter
WP	Weather Proof
V.P.	Vapor Proof
N.L.	Night Light
EX	Existing
DBL	Double

G A R A G E L E V E L E L E C T R I C A L P L A N SCALE: 1/4"=1'-0"

- REVISIONS:**
- ▲ (01-08-02) PER CITY OF SARASOTA BLDG. ZON.
 - ▲ (01-15-02) ELIMINATED TWO(2) RECEPTACLES IN GARAGE AREA - PER CITY OF SARASOTA BLDG. ZON.
 - ▲ (01-28-02) PER CITY OF SARASOTA BLDG. ZON.

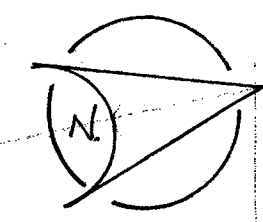


GENERAL NOTES

1. AIR CONDITIONING TO BE STRAIGHT COOL A/C UNITS W/ 15 KW. HEAT STRIPS MIN. SEER 12.0
2. ALL CONDENSATE LINES TO HAVE "S" TRAPS & RUN TO EXTERIOR.
3. ALL BATHROOM EXHAUST FANS MUST HAVE 80 C.F.M. MIN.
4. CONTRACTOR TO VERIFY SIZES & LOCATIONS OF AIR DIFFUSERS & RETURN GRILLES & THERMOSTATS
5. THIS LAYOUT SHOWN IS SCHEMATIC ONLY HVAC CONTRACTOR TO VERIFY ALL REQUIREMENTS W/ THE OWNER
6. ALL AIR HANDLERS ARE TO HAVE TWO (2) WAYS OF PROTECTION. ONE SHALL BE IN CIRCUIT BREAKER PANEL & SECOND CIRCUIT BREAKER DISCONNECT SHALL BE BY THE UNIT.

NOTE: ALL MECHANICAL SHALL BE ABOVE BASE FLOOD ELEVATION.

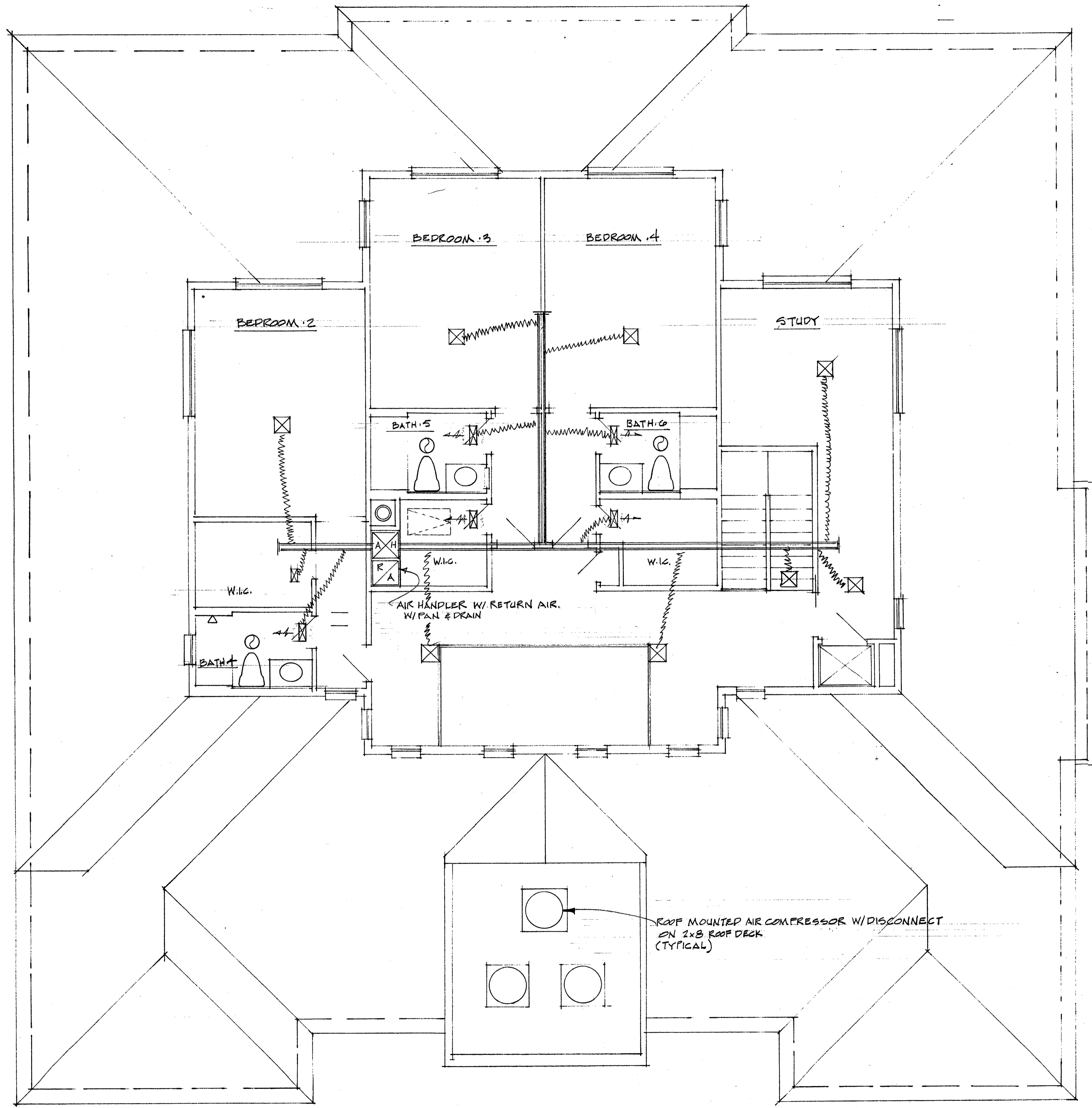
VENT DRYER THRU. ROOF



MECHANICAL LEGEND	
	- RIGID DUCT
	- FLEXIBLE DUCT
	- SUPPLY AIR DIFFUSER
	- RETURN AIR DIFFUSER

FIRST FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"

MECHANICAL LEGEND	
	- RIGID DUCT
	- FLEXIBLE DUCT
	- SUPPLY AIR DIFFUSER
	- RETURN AIR DIFFUSER

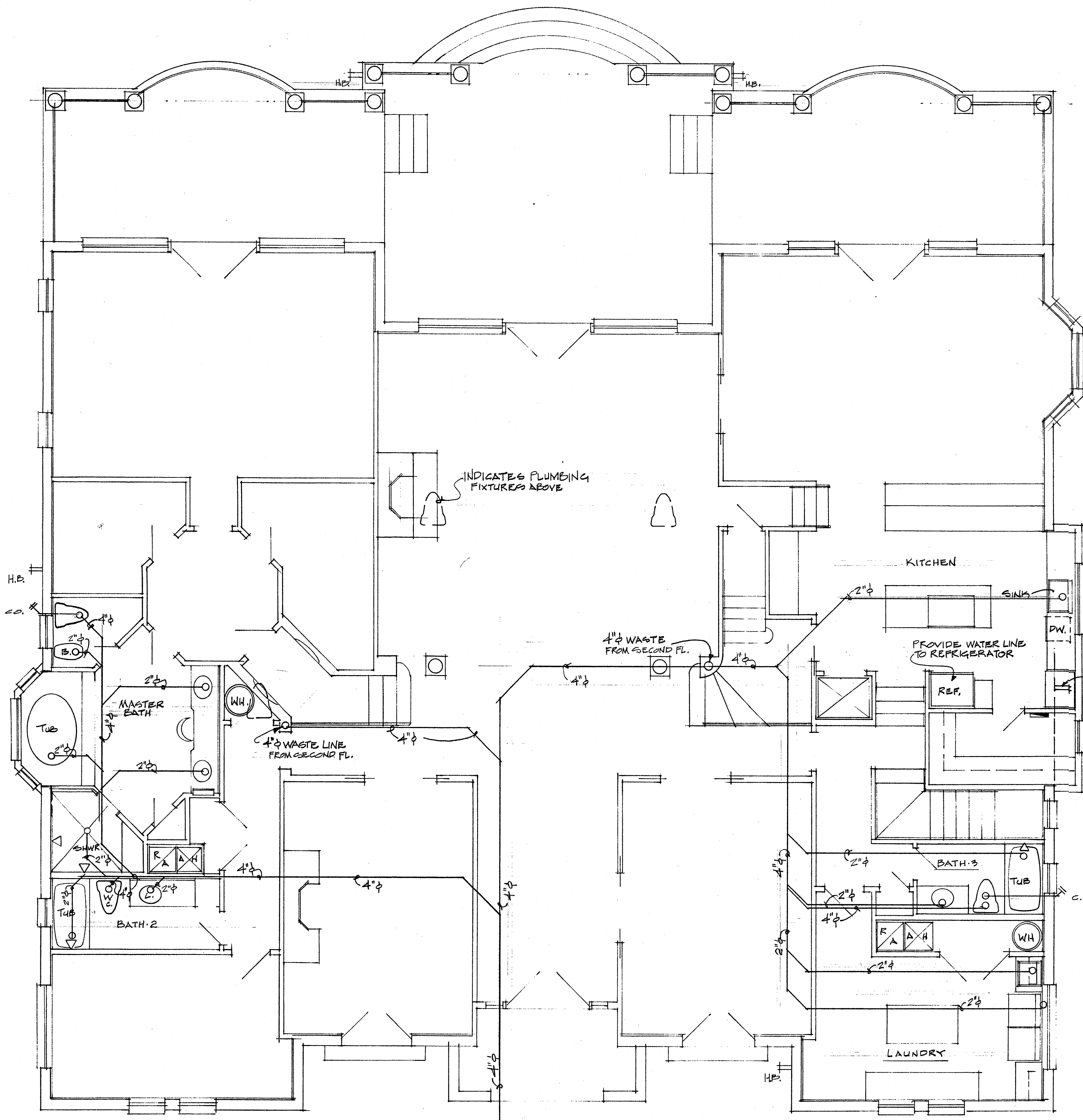
WM. THORNING LITTLE, ARCH'T, P.A.
 537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

Win. Thorning Little, Arch't
 BSC. AIR 0009347 COA. AA 0002677
 To the best of my knowledge, these plans and specifications comply with the applicable building codes and standards in accordance with chapters 553 and 633 of the Laws of Florida, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
 MRS. & MRS. PAUL MOBLEY
 3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE: 10-31-01

SHEET:
 23
 23 OF 27



INDICATES PLUMBING FIXTURES ABOVE

KITCHEN

SINK

PROVIDE WATER LINE TO REFRIGERATOR

REF.

H.B. BELOW BAY @ GARAGE LEVEL

MASTER BATH

BATH-2

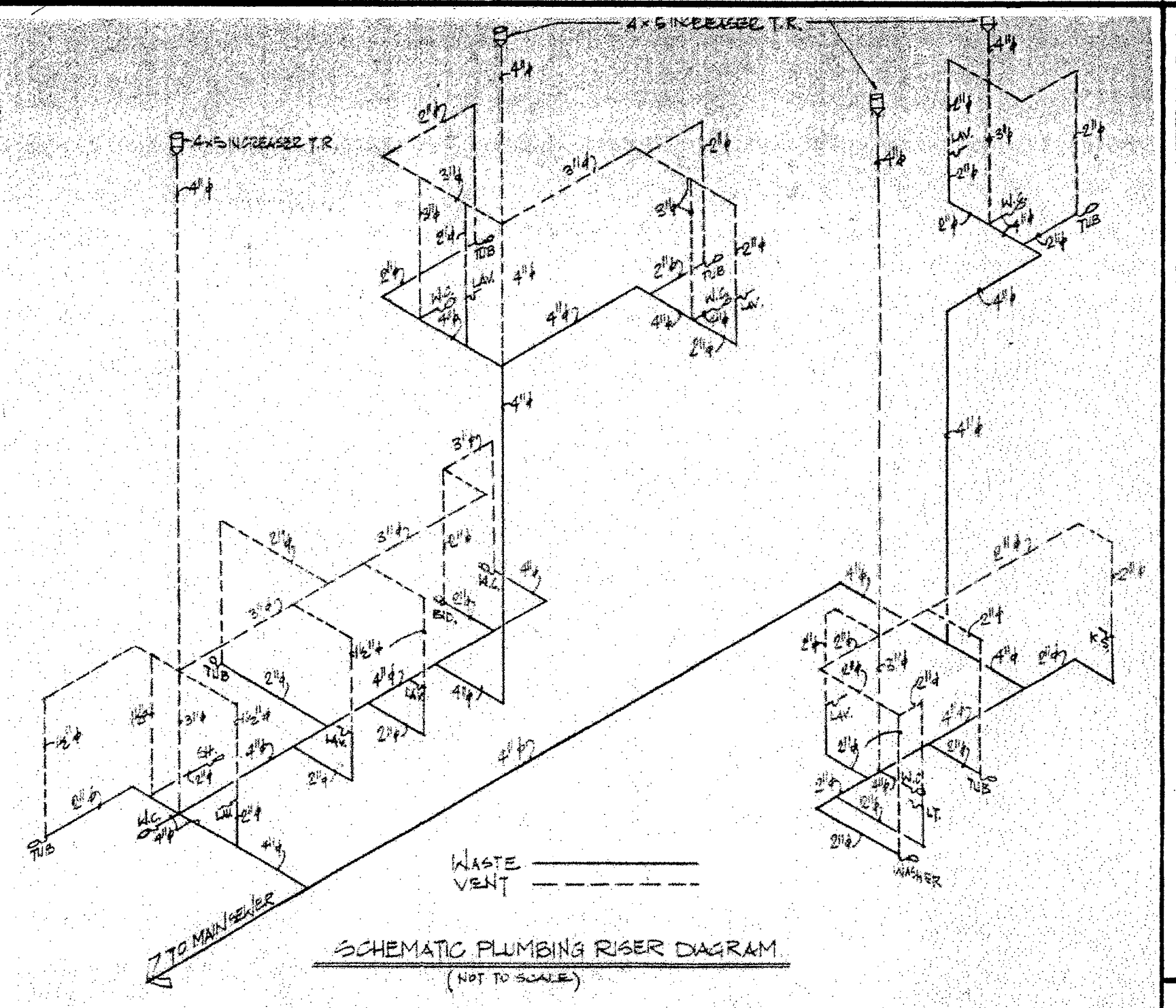
BATH-3

LAUNDRY

RUN TO MAIN SEWER LINE

FIRST FLOOR PLUMBING PLAN

SCALE: 1/4" = 1'-0"

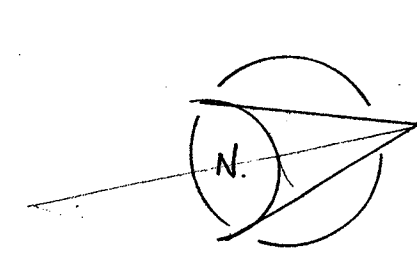


SCHEMATIC PLUMBING RISER DIAGRAM (NOT TO SCALE)

GENERAL NOTES:

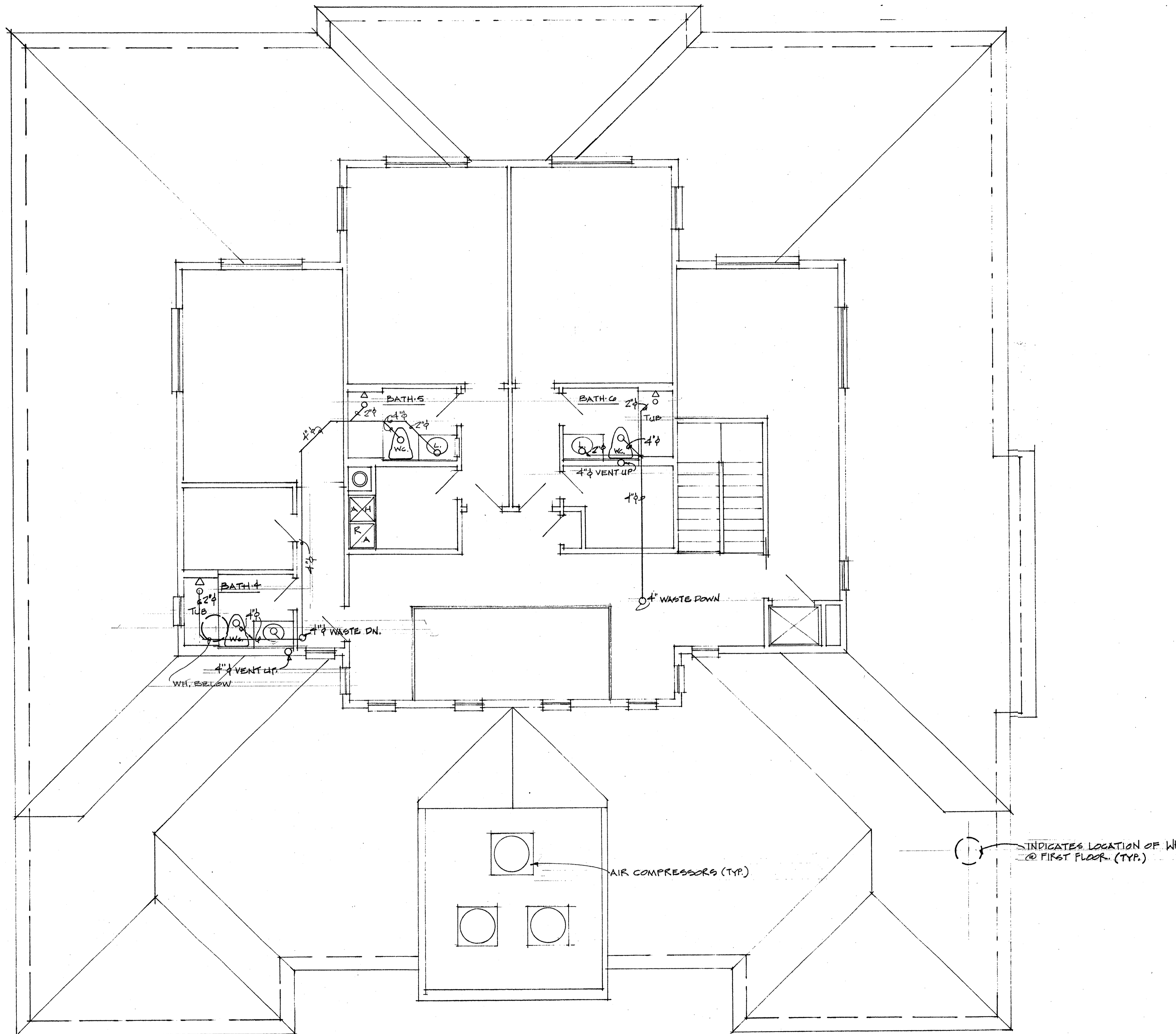
- 1. WATER HEATER TO BE 50 GAL. ELECTRIC (VERIFY SIZE W/OWNER)
- PLUMBING CONTRACTOR TO VERIFY SIZES & TYPES OF PLUMBING FIXTURES

NOTE: ALL PLUMBING SHALL BE ABOVE BASE FLOOD ELEVATION.

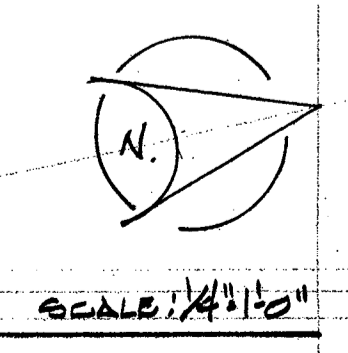


Wis. Thorning Little, Archt. P.A. License No. 0002677
FLA. License No. 0009347
To the best of my knowledge, these plans and specifications comply with all applicable minimum building codes and minimum fire safety codes of the State of Florida, along with all other related municipal ordinances.

DATE: 10-21-01



SECOND FLOOR PLUMBING PLAN



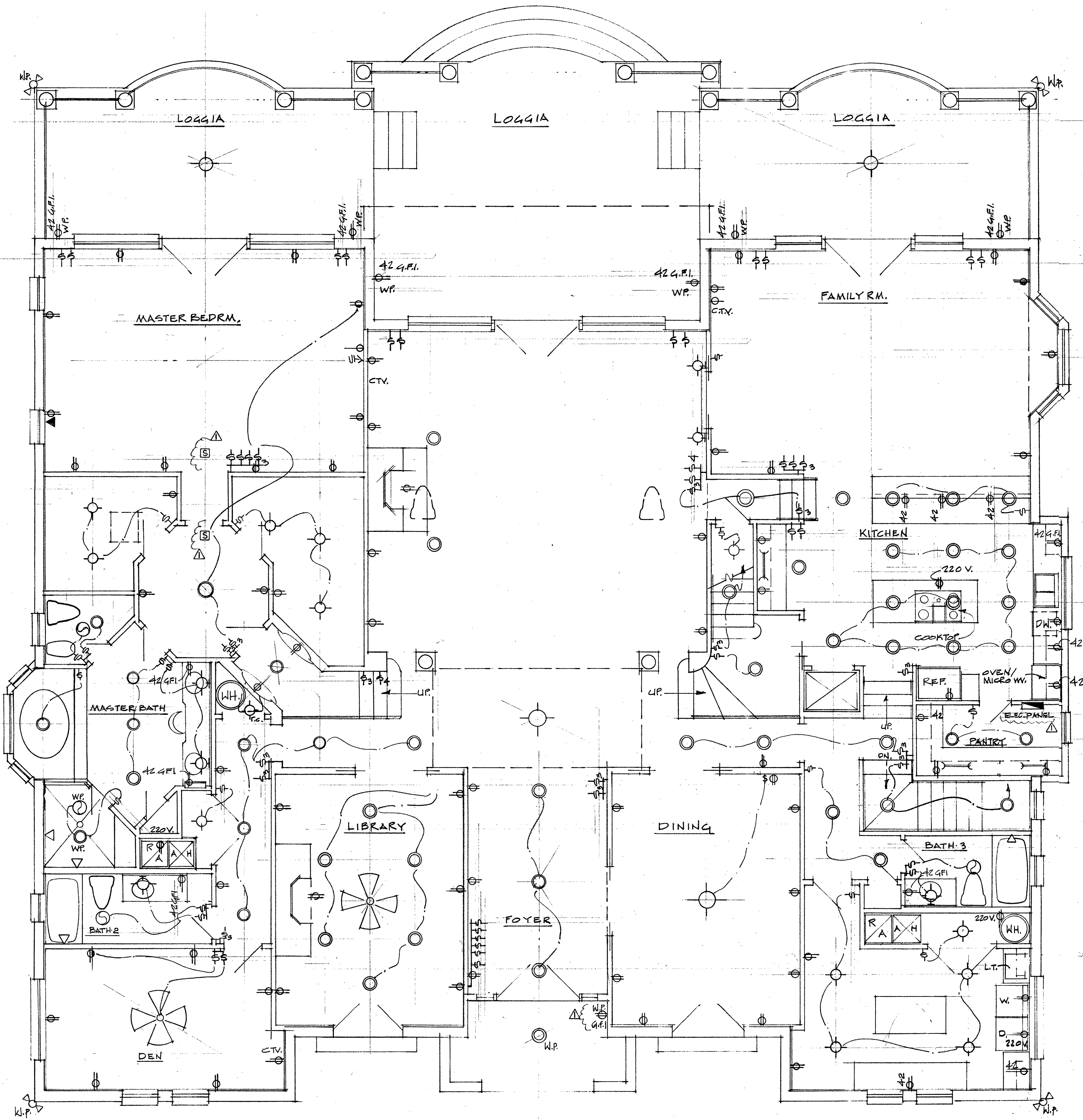
WM. THORNING LITTLE, ARCHT.
 537 S. PINEAPPLE AVENUE SARASOTA, FLORIDA 34236 (941) 365-9284 FAX (941) 365-8725

PROPOSED RESIDENCE FOR
 MR. & MRS. PAUL MOBLEY
 3500 BAYOU LOUISE LANE SARASOTA, FLORIDA

DATE:
 10-31-01

SHEET:
 25
 25 OF 27

WM. THORNING LITTLE, ARCHT. P.A.
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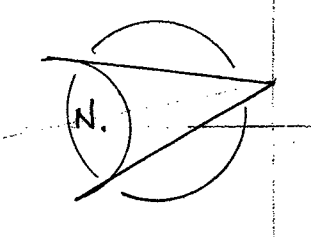


ELECTRICAL LEGEND	
⊙	Power Pole Location
⊞	Wall Mounted Switch
⊞	Wall Mounted Three Way Switch
⊞	Wall Mounted Four Way Switch
⊞	Wall Mounted Dimmer Switch
⊞	Wall Mounted 110V Duplex Receptacle
⊞	Floor Mounted Finish 110V Receptacle
⊞	Ceiling Mounted 110V Receptacle
⊞	Wall Mounted 220V Single Receptacle
⊞	Wall Mounted 220V Duplex Receptacle
⊞	Ceiling Mounted Incandescent Light Fixture
⊞	Ceiling Mounted Recessed Light Fixture
⊞	Wall Mounted Light Fixture
⊞	Spot Light Fixture
⊞	Wall/Ceiling Mounted Track Light Fixture
⊞	Half Switched Receptacle
⊞	Ceiling Mounted Fluorescent Light Fixture
⊞	Junction Box
⊞	Cable TV
⊞	Telephone Jack
⊞	Coax Cable Receptacle
⊞	Thermostat
⊞	Garbage Disposal
⊞	Ceiling Fan
⊞	Push Button & Chimes
⊞	Lighted Exit Sign
⊞	Emergency Light Fixture w/ Battery Backup
⊞	Exhaust Fan
⊞	Combination Exhaust Fan/Light Fixture
⊞	Smoke Detector
⊞	Horn & Strobe Light
⊞	Disconnect Switch
⊞	Electrical Panel
⊞	Ground Fault Interrupter
⊞	Weather Proof
⊞	Vapor Proof
⊞	Night Light
⊞	Existing
⊞	Double

GENERAL NOTES

1. THE ELECTRICAL CONTRACTOR TO PROVIDE G.F.I. POWER FOR FUTURE DOCK (VERIFY W/OWNER)
2. CONTRACTOR TO VERIFY LOCATION OF SWITCHES, RECEPTACLES, TELEPHONE JACKS, CABLE TV, CEILING FANS, DOOR CHIMES, COMPUTER OUTLETS, SECURITY SYSTEM CONTROLS.
3. THE LAYOUT SHOWN IS SCHEMATIC ONLY
4. PROVIDE LIGHTNING PROTECTION
5. ALL SWITCHING COORDINATION TO BE FIELD VERIFIED W/OWNER
6. VERIFY SWITCHING FOR POOL & LANDSCAPE LIGHTING
7. RECEPTACLES TO BE 24" FROM EACH CORNER IN BEDROOMS AND TO BE 6" FROM DOORS MAX. & TO BE 12' APART. MAX.
8. RECEPTACLES AT KITCHEN TO BE ALL G.F.I. & TO BE 24" O.C. MAX.
9. REFRIGATOR TO HAVE SEPERATE CIRCUIT.
10. HVAC COMP. TO BE ROOF MTD. W/DISCONNECT'S.

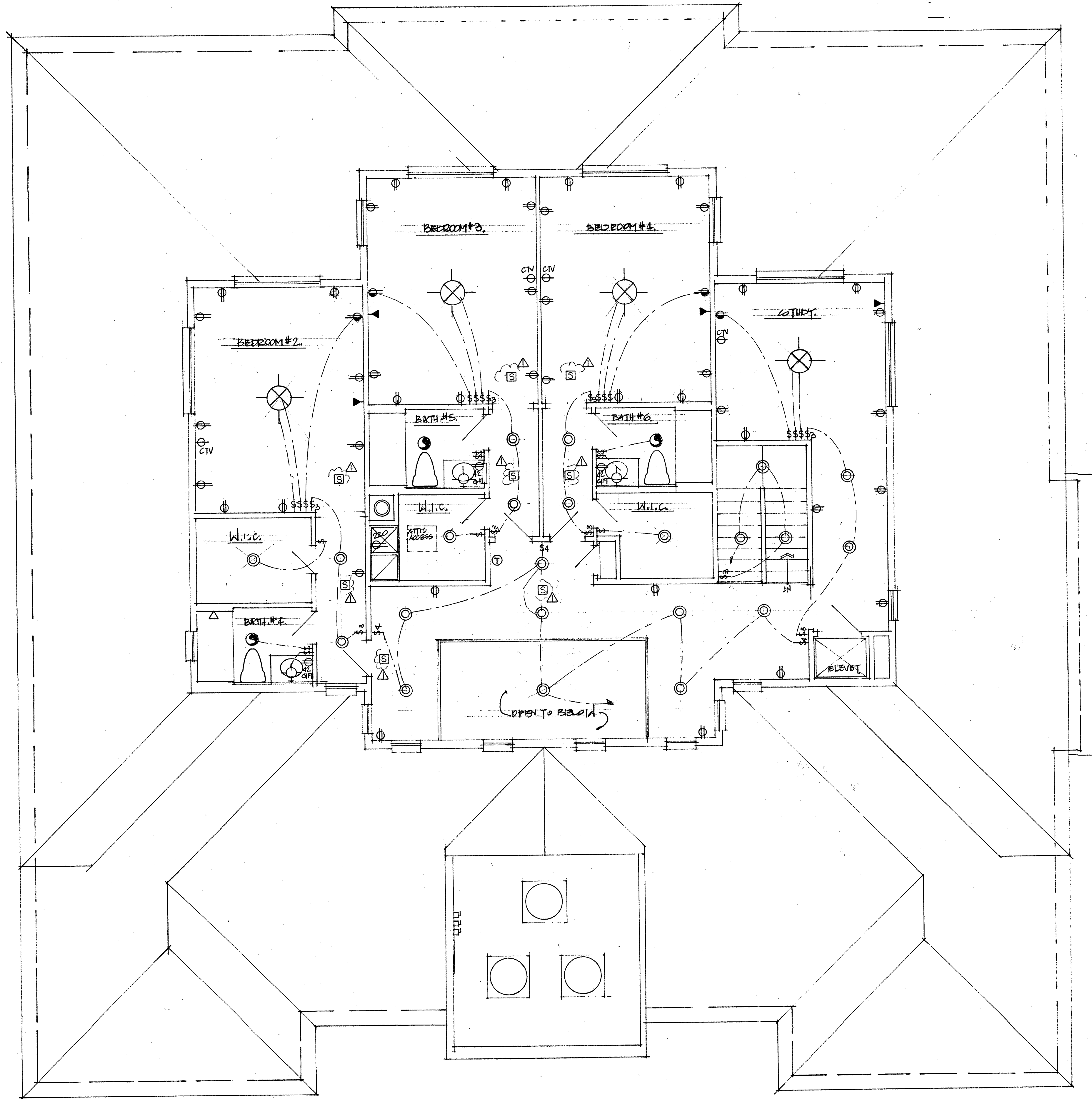
NOTE: ALL ELECTRICAL SHALL BE ABOVE BASE FLOOD ELEVATION.



REVISIONS:
 Δ (01.08.02) PER CITY OF SARASOTA BLDG. ZON.

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL LEGEND	
⊕	Power Pole Location
⊙	Wall Mounted Switch
⊕	Wall Mounted Three Way Switch
⊕	Wall Mounted Four Way Switch
⊕	Wall Mounted Dimmer Switch
⊕	Wall Mounted 110V Duplex Receptacle
⊕	Floor Mounted Flush 110V Receptacle
⊕	Ceiling Mounted 110V Receptacle
⊕	Wall Mounted 220V Single Receptacle
⊕	Wall Mounted 220V Duplex Receptacle
⊕	Ceiling Mounted Incandescent Light Fixture
⊕	Ceiling Mounted Recessed Light Fixture
⊕	Wall Mounted Light Fixture
⊕	Spot Light Fixture
⊕	Wall/Ceiling Mounted Track Light Fixture
⊕	Hall Switched Receptacle
⊕	Ceiling Mounted Fluorescent Light Fixture
⊕	Junction Box
⊕	Cable TV
⊕	Telephone Jack
⊕	Coax Cable Receptacle
⊕	Thermostat
⊕	Garbage Disposal
⊕	Ceiling Fan
⊕	Push Button & Chimes
⊕	Lighted Exit Sign
⊕	Emergency Light Fixture w/ Battery Backup
⊕	Exhaust Fan
⊕	Combination Exhaust Fan/Light Fixture
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⊕	Heat Detector
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⊕	Electrical Panel
⊕	Ground Fault Interrupter
⊕	Weather Proof
⊕	Vapor Proof
⊕	Night Light
⊕	Existing
⊕	Double

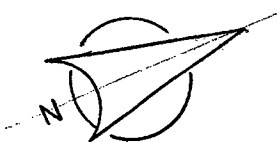
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WM. Thorning Little, Archt., P.A. License No. AA 0002677
 B.C. At 0002677
 To the best of my knowledge, these plans and specifications comply with all applicable minimum Building Codes and minimum fire safety codes of the State of Florida, along with all other related municipal ordinances.

PROPOSED RESIDENCE FOR
 MR. & MRS. PAUL MOBLEY
 3500 PAYOU LOUISE LANE SARASOTA, FLORIDA

REVISIONS:
 Δ(01:08:02) PER CITY OF SARASOTA PLB# 201

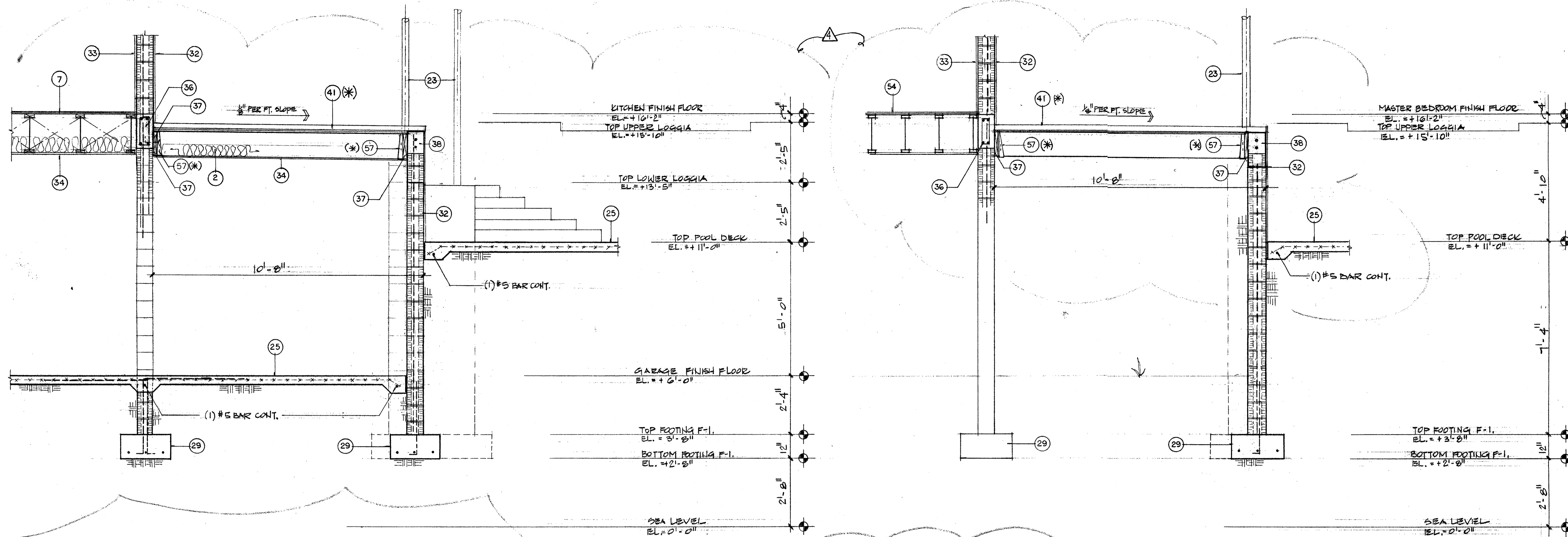
DATE: 10-31-01



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

SHEET: 27 OF 27

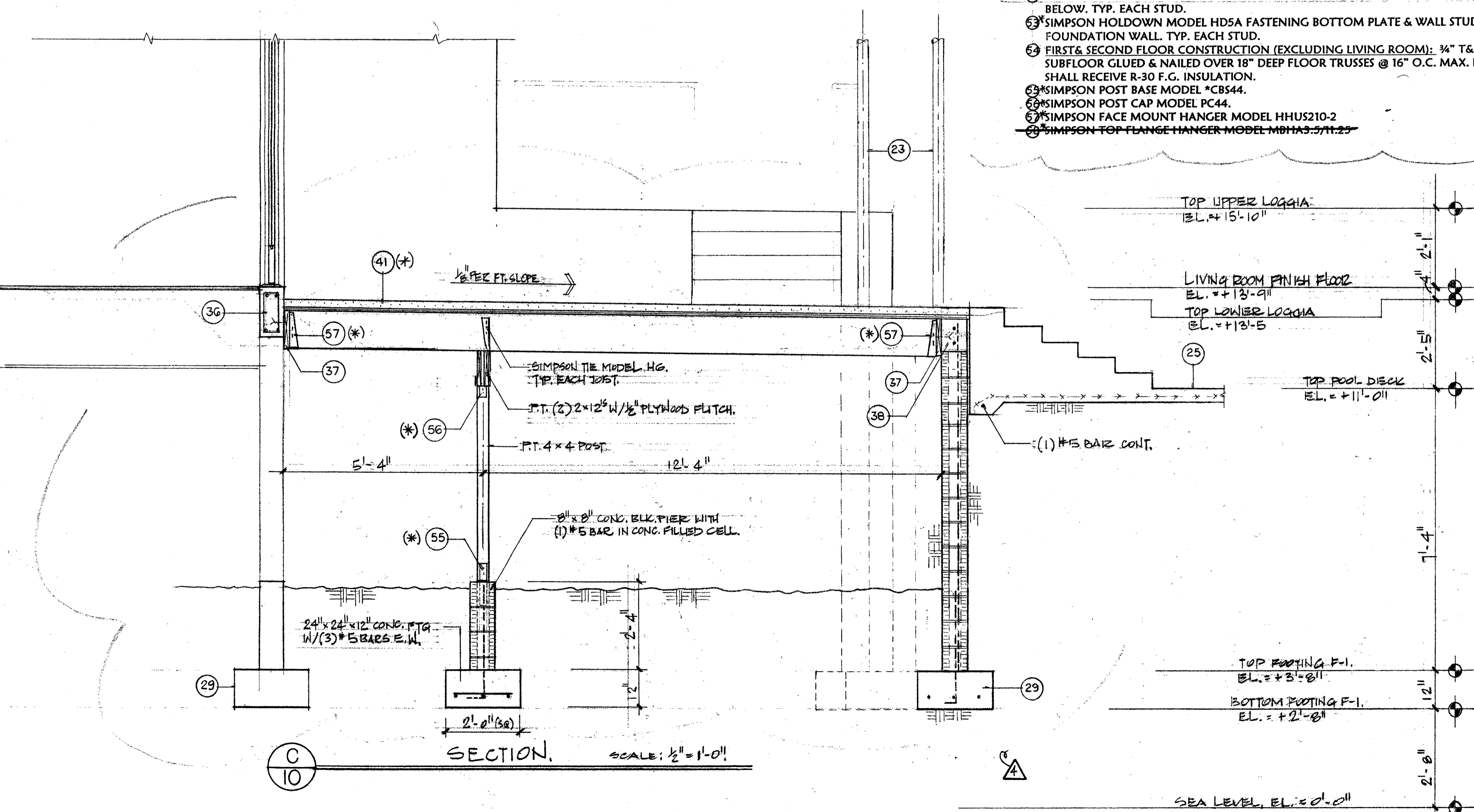


A
SECTION SCALE: 1/2" = 1'-0"

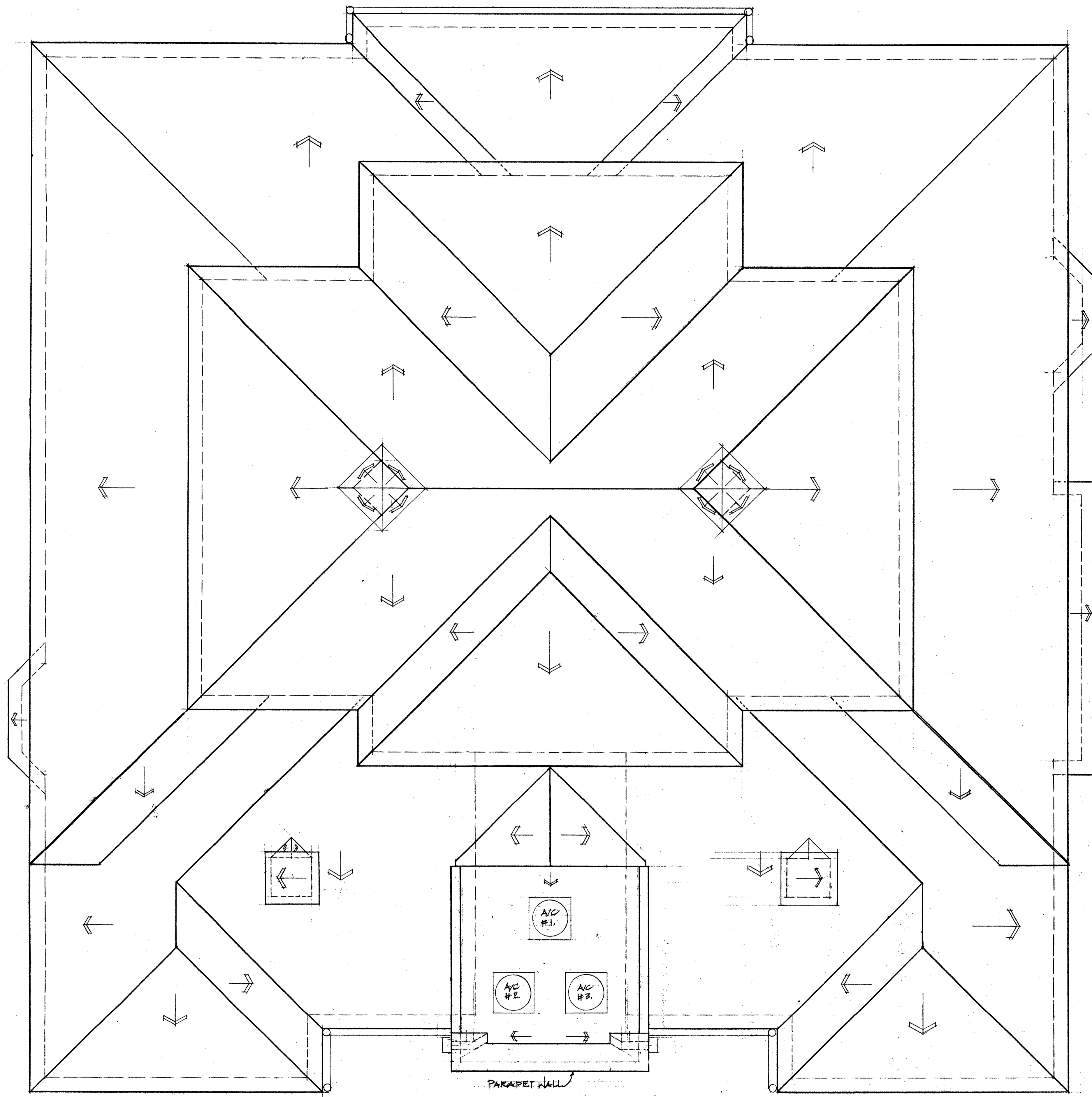
B
SECTION SCALE: 1/2" = 1'-0"

- ① SIMPSON HOLDDOWN MODEL HD5A FASTENING 2X4 BOTTOM PLATE TO CONC. FLOOR - TYPE EVERY OTHER STUD.
- ② SIMPSON MODEL H6. TYP. EACH STUD.
- ③ SIMPSON HOLDDOWN MODEL HD5A FASTENING FLOOR SYSTEM TO WALL STUD ABOVE & BELOW. TYP. EACH STUD.
- ④ SIMPSON HOLDDOWN MODEL HD5A FASTENING BOTTOM PLATE & WALL STUD TO FOUNDATION WALL. TYP. EACH STUD.
- ⑤ FIRST & SECOND FLOOR CONSTRUCTION (EXCLUDING LIVING ROOM): 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 16" O.C. MAX. FIRST FLOOR SHALL RECEIVE R-30 F.G. INSULATION.
- ⑥ SIMPSON POST BASE MODEL "CB544.
- ⑦ SIMPSON POST CAP MODEL PC44.
- ⑧ SIMPSON FACE MOUNT HANGER MODEL HHUS210-2
- ⑨ SIMPSON TOP FLANGE HANGER MODEL MBH3.5/11.23

- LEGEND**
- (*) DENOTES REFERENCE TO HURRICANE FASTENERS
- ① TYPICAL ROOF CONSTRUCTION: ROOF TILES PER SPEC. ON 90# HOT MOP ON 30# DRY-IN FELT. EAVE COURSE TO BE NAILED OVER 1/2" CDX PLYWOOD DECKING OVER PRE-ENGINEERED & PRE-FABRICATED ROOF TRUSSES @ 24" O.C. MAXIMUM.
 - ② 2 X 6 SUBFASCIA W/ALUM. FASCIA, ALUM. DRIP & VENTED ALUM. SOFFIT.
 - ③ 2 X 6 TOP PLATE W/3/8" APPROVED ANCHORS CAPABLE OF MEETING UPLIFT REQ'D AS PROVIDED BY TRUSS MANUFACTURER AT EACH BRIDGING POINT OF EACH TRUSS. USE SIMPSON TWIST STRAPS MODEL HTS 20 OR EQUAL.
 - ④ TYPICAL EXTERIOR STUD WALL CONSTRUCTION: 7/8" THK. MIN. STUCCO EXTERIOR FINISH ON METAL LATH OVER 1/2" CDX PLYWOOD SHEATHING OVER 2 X 6 STUDS @ 16" O.C. MAX. WITH R-19 F.G. INSULATION AND 5/8" GYP. BOARD ON INTERIOR SIDE. (VERIFY THICKNESS OF GYP. BOARD W/OWNER)
 - ⑤ 5/8" GYP. BOARD AT CEILING. (VERIFY THICKNESS OF GYP. BOARD W/OWNER)
 - ⑥ TYPICAL KITCHEN AREA FLOOR & SECOND FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED & NAILED OVER 18" DEEP FLOOR TRUSSES @ 16" O.C. MAX. FIRST FLOOR SHALL BE INSULATED WITH R-30 F.G. INSULATION.
 - ⑦ P.T. 2 X 6 LEDGER PLATE FASTENED TO EACH STUD.
 - ⑧ SIMPSON FACE MOUNT HANGER MODEL HUS 26 TYP. @ EACH TRUSS.
 - ⑨ SIMPSON TRUSS ANCHOR MODEL HETA 20 WITH GALVANIZED TRUSS SEAT. TYP. AT EACH TRUSS.
 - ⑩ SIMPSON STRAP THE MODEL MSTA 36. TYP. AT EACH STUD.
 - ⑪ 2 X 6 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS.
 - ⑫ FLOOR TRUSS HANGER BY MANUFACTURER.
 - ⑬ BLOCKING AS REQ'D MADE OF 2 X 4 STUDS @ 24" O.C. MAXIMUM. MICROLAM BEAM HANGER BY MANUFACTURER.
 - ⑭ (1) 1 1/2" X 18" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM (STAGGERED)
 - ⑮ (2) 1 1/2" X 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM (STAGGERED)
 - ⑯ (1) 1 1/2" X 14" MICROLAM BEAM WITH MIN. TWO (2) ROWS OF 16d NAILS AT 12" O.C. MAXIMUM (STAGGERED)
 - ⑰ CONC. THE BEAM B-2. SEE DRAWING No. 14 FOR DETAILS.
 - ⑱ SIMPSON POST CAP MODEL PC 44
 - ⑲ SIMPSON POST CAP MODEL PC 84
 - ⑳ SIMPSON LALLY COLUMN CAP MODEL LCC3.5-3.5.
 - ㉑ 3 1/2" DIA. LALLY COLUMN.
 - ㉒ LOAD BEARING INTERIOR 2 X 4 STUD WALL @ 16" O.C. MAXIMUM WITH 5/8" GYP. BOARD ON EACH SIDE.
 - ㉓ TYPICAL CONCRETE SLAB FLOOR CONSTRUCTION: 4" THK. CONCRETE SLAB (3,000 PSI MIN.) WITH 6 X 6 - W1.4 X W1.4 W.W.F. ON 6 MIL VISQUEEN VAPOR BARRIER OVER CLEAN, COMPACTED & POISONED FILL.
 - ㉔ 2 X 4 BOTTOM PLATE FASTENED TO CON. SLAB FLOOR WITH 5/8" DIA. ANCHOR BOLTS @ 20" O.C. MAX. USE 5/16" X 3" DIA. WASHERS.
 - ㉕ FOOTING F-4. SEE DRAWING No. 3 FOR DETAILS.
 - ㉖ FOOTING F-2. SEE DRAWING No. 3 FOR DETAILS.
 - ㉗ FOOTING F-1. SEE DRAWING No. 3 FOR DETAILS.
 - ㉘ BEAM B-4. SEE DRAWING No. 14 FOR DETAILS.
 - ㉙ BEAM B-1. SEE DRAWING No. 14 FOR DETAILS.
 - ㉚ TYPICAL EXTERIOR CONCRETE BLOCK WALL CONSTRUCTION: MIN. 1/2" THK. STUCCO EXTERIOR FINISH OVER 8" CONC. BLOCK WALL W/CONC. FILLED CELL W/(1) #5 VERT. BAR FROM FOOTING TO THE BEAM AT EVERY CORNER. AT EACH SIDE OF WALL OPENING @ 48" O.C. MAX. IN FIELD, HOOKED & TIED BEFORE INSPECTION, LAPPED 40 DIA. MINIMUM.
 - ㉛ 5/8" GYP. BOARD ON R-4.2 F.F. RIGID INSULATION OVER 1 X 2 P.T. FURRING STRIPS @ 16" O.C. MAX. ON 8" CONCRETE BLOCK WALL.
 - ㉜ 5/8" F.F. BOARD AT GARAGE CEILING.
 - ㉝ SIMPSON FLOOR TRUSS TOB WALL ANCHOR MODEL HETA 40. TYP. AT EACH STUD.
 - ㉞ BEAM B-3. SEE DRAWING No. 14 FOR DETAILS.
 - ㉟ P.T. 2 X 12 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/ 5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAXIMUM.
 - ㊱ 8" X 10" CONC. TIE BEAM W/ (2) #5 HORIZONTAL BARS CONT.
 - ㊲ P.T. 2 X 8 PLATE CONT. FASTENED TO THE BEAM W/5/8" DIA. ANCHOR BOLTS AT 24" O.C. MAX.
 - ㊳ BEAR LOGGIA DECK CONSTRUCTION: 2" CONC. MUD OVER 15# FELT ON 1/4" CDX PLYWOOD DECK OVER 2 X 12 DECK JOISTS AT 16" O.C. (PAPERED) FOR LEDGER PLATE JOIST CONNECTION USE SIMPSON JOIST HANGER MODEL HUS20-2 FOR FLOOR JOIST TO BEAM CONNECTION USE SIMPSON ANCHOR MODEL FA-G SIMPSON ANGLE MODEL HAN 20 FOR EACH JOIST.
 - ㊴ SIMPSON JOIST HANGER MODEL HUS2.
 - ㊵ SIMPSON HURRICANE ANGLE MODEL HGA10. TYP. EACH SIDE OF BRACKET.
 - ㊶ SIMPSON JOIST HANGER MODEL HUS2-2
 - ㊷ P.T. 2 X 8 LEDGER PLATE FASTENED TO CONC. BLOCK WALL W/5/8" DIA. ANCHOR BOLTS @ 21" O.C. MAX.
 - ㊸ 1/4" T & G PLYWOOD SUBFLOOR GLUED & NAILED OVER 2 X 8 FLOOR JOISTS @ 16" O.C. MAX. AND R-30 F.G. INSULATION.
 - ㊹ SCULPTURED CUT-OUT WITH 1 X 1 P.T. DRIP EDGE COVERED W/COPPER DRIP.
 - ㊺ 2 X 4 BOTTOM PLATE FASTENED TO EACH FLOOR TRUSS.



C
SECTION SCALE: 1/2" = 1'-0"



ROOF PLAN SCALE: 1/2" = 1'-0"

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PROPOSED RESIDENCE FOR
 MR. & MRS. PAUL MOBLEY
 3500 PATOU LOUISE LANE SARASOTA, FLORIDA

DATE: 10-31-01

SHEET: 16
 16 OF 27

At A Glance...

General Questions:

- **Is the residence sold furnished?**
No, this residence is being sold unfurnished. The staged furniture is available to purchase separately.
- **When was it built?**
The residence was built in 2002.
- **How large is the residence?**
6,300 sq. ft. under air
10,912 sq. ft. under roof
- **Are pets allowed?**
Yes, pets are allowed without restrictions.
- **How many parking spaces are there?**
This residence offers a four-car garage, with 2 Tesla electric chargers.
- **How would I find out more information about this property?**
Go to: 3500BayouLouise.com



CONGRATULATIONS TO THE
JUDY
KEPECZ
HAYS *Team*
\$3.4 Billion Career Sales
TOP 1% IN THE WORLD

Kepecz@JudyHays.com | www.LongboatKeyLuxury.com
100 North Tamiami Trail | Sarasota, FL 34236



Leah George Judy Kepez-Hays Steven Kepez
941-780-0597 941-587-1700 941-376-6411

Feature Sheet

3500 Bayou Louise Lane

GENERAL HOME UPDATES & FEATURES

- 100 ft+ of Caribbean blue water frontage.
- Riprap Seawall.
- Grass area lot on one of the most coveted locations on Siesta Key, Big Pass at the mouth of the Gulf of Mexico
- Half acre+ lot.
- 6300 sq. ft. under air - 8,200 sq. ft. total (based on home plans).
- Brand-new roof (with warranty), copper gutters, and downspouts.
- 5 en-suite bedrooms with elevator access.
- 5 full bathrooms and 1 half bathroom.
- Designer Clive Christian® cabinetry in Chef's Kitchen.
- Designer primary bath with Italian Calacatta gold book-matched slab walls with hand-carved moldings.
- Custom walnut library and hand-finished dining room.
- 40' x 20' with natural gas heated custom swimming pool with infinity edge whirlpool.
- 4 car garage with epoxy floor and storage.
- Exercise and game room.
- Split storage space.
- Private gated elegant circular motor court with tumbled pavers.
- Copper & brass landscape lighting.
- Flagstone pathways and garden areas.
- Custom outdoor kitchen with Bakers Pride Pizza Oven and entertaining bar.
- Expansive tiered loggias off kitchen, living room and primary bedroom.

INTERIOR UPGRADES

- Sonos® Sound System throughout home, loggia, and pool deck.
- Lutron® Lighting Control System and LED lighting upgrades throughout.
- Custom Italian & Venetian plaster throughout.
- Three gas fireplaces – One located in the library with solid walnut mantle. One in the living

- room features a custom limestone mantle. One outdoors on the bayside terrace.
- ¾" Solid custom oak-stained flooring with custom quarter-sawn accents.
- Additional spray foam insulation was installed for energy efficiency.
- Custom crown molding and solid core doors throughout the home with original Baldwin Hardware.
- Pozzi® Custom Impact/Low E® double pane windows.
- Carriage style hurricane rated garage doors.
- Custom entry cellular call gate system.
- Hardwired security alarm system.
- Hardwired camera security system.
- Custom drapery and blinds throughout home.
- Custom whole house water filtration system installed in 2022.
- New custom irrigation well with filter system.
- 200-gallon propane tank.
- 200-gallon water heater.
- HVAC and hot water heater - new in 2023.
- Washer and dryer - new in 2023.
- Waupaca® Estate elevator to all levels.
- Custom wrought iron throughout home.
- 400 bottle climate-controlled wine cellar with Split X® Cooling System.
- Custom murals for wine cellar.
- Central vacuum system.
- Beautiful custom contemporary leaded glass accents throughout home.

LIBRARY UPGRADES AND FEATURES

- Custom walnut cabinetry & ceiling.
- Custom solid walnut mantle with gas fireplace.
- Leaded glass display shelves.
- French door and leaded glass sliders.
- Custom Lutron® controlled LED lighting & accents.
- Custom draperies and stained plantation shutters.



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Leah
George

Judy Kepez-Hays

Steven
Kepez

941-780-0597 941-587-1700 941-376-6411

Disclosure: Features may vary. If desired, the accuracy of the data contained herein can be independently verified by the recipient.

- Sonos® integrated sound system.
- Additional Frontier fiber optic data line for business privacy.

CUSTOM CHEF'S KITCHEN FEATURES

- Custom made cabinetry hand painted and finished with silver shadow accents.
- Clive Christian® Signature Continental mantle with custom Viking® hood.
- Clive Christian® Signature end panels and shadow line patented crown-design.
- Pull-out maple cabinet with Clive Christian® Signature edge.
- Signature Clive Christian® pewter lion logo cabinet knobs.
- Integrated Rohl® copper stainless steel prep sink with Rohl® faucets and hardware.
- Large deep Rohl® copper stainless steel work sink with Rohl® faucets and hardware.

SLAB MARBLE AND GRANITE COUNTERS

- 3 architectural statuary marble slabs.
- Custom matching marble moldings.
- Hidden integrated LeGrande® system under cabinet and Lew® pop-up electrical outlet.
- "Absolute Black" granite slab counters with ogee double edge-four slabs.

CHEF & BAKER'S ENTERTAINING KITCHEN FUNCTIONAL WORK ZONES

- Chef area includes six burners and infrared griddle Wolf® gas range with two ovens and Rohl® pot filler with custom integrated Viking® hood ventilation system.
- Integrated Sub Zero® refrigeration, freezer, and dishwasher.
- Integrated chef's spice and storage area.
- Baker's area includes Miele® steam and convection ovens.
- Butler's pantry area includes 84" H glass panel Subzero® refrigerator and freezer drawer.
- Pantry area features ceiling with hand-painted, aged custom Murano glass chandelier.

FAMILY/ENTERTAINING KITCHEN AREA

- 16-foot solid Wenge counter with two Schonbek® floating rock crystal chandeliers.
- Integrated Miele® coffee station.
- Two Miele® integrated dish drawers.
- Miele® integrated microwave.

- Family entertainment area and breakfast nook.
- Adjoining outdoor loggia with dining area with outdoor kitchen.

APPLIANCE LIST FOR KITCHEN

- 48" Wolf® gas range with 6 burners infrared griddle and two ovens.
- Integrated Viking® hood.
- Fisher Paykel® integrated dishwasher.
- Two Subzero® refrigerator drawers.
- Two Subzero® freezer drawers.
- 36 x 84 Subzero® glass panel refrigerator with freezer.
- Miele® convection oven.
- Two Miele® warming drawers.
- Miele® microwave.
- Miele® coffee station.

CUSTOM OUTDOOR KITCHEN

- Wolf® outdoor barbecue grill with infrared burner and rotisserie oven.
- Wolf® outdoor two burner stove top.
- Baker's Pride® pizza oven.
- Entertaining custom swivel Brazilian Butterfly granite bar with integrated ice maker and sink.
- Locking under-counter glass panel refrigeration for beer and wine.

2ND PRIMARY BEDROOM & 2 GUEST SUITES UPSTAIRS – UPGRADES AND FEATURES

- Private seating area overlooking Gulf of Mexico.
- Custom morning kitchen with built in Miele® coffee station, built-in refrigerator and freezer, Rohl® copper stainless steel sink and hardware.
- Emperador® chocolate marble bath and shower with inset marble design.
- Custom vanity and built-in linen cabinet.
- Built-in Seura® "Mirror TV" above vanity.
- Additional sound proofing between walls.

EN-SUITE BEDROOM UPGRADES AND FEATURES

- Private wing with private hallway, two additional closets for storage.
- Schumacher® hand-made wallpaper in bathroom.
- Custom leaded glass window in shower for privacy.



CONGRATULATIONS TO THE
JUDY KEPECZ
 HAYS *Team*

\$3.4 Billion Career Sales

TOP 1% IN THE WORLD

Kepecz@JudyHays.com | www.LongboatKeyLuxury.com
 100 North Tamiami Trail | Sarasota, FL 34236



Leah George | Judy Kepecz-Hays | Steven Kepecz
 941-780-0597 | 941-587-1700 | 941-376-6411

- Emperador chocolate marble slab vanity with Braams® cabinetry in bath.
- Solid oak flooring with hand-painted custom quarter sawn accents.
- Lutron® controlled LED lighting system.

UPSTAIRS LIVING QUARTERS – UPGRADES AND FEATURES

- 3 en-suite bedrooms - 1 private suite with private elevator access.
- Walk-in custom closets.
- Custom New Zealand wool & silk runner.
- Custom art glass transoms to each bedroom.
- Wrought iron railings on the balcony.
- Custom built-in shelves with desk & daybed overlooking water - bedrooms 1 & 2.
- Gulf views from every room.

PRIMARY BEDROOM SUITE 1 ON LOWER LEVEL

- Newly renovated en-suite bathroom.
- Private wing off main floor.
- Private loggia overlooking Big Pass and Gulf of Mexico.
- Walk-in custom closet.
- Lutron® lighting with two Schonbek® crystal chandeliers.
- Custom coffered wood ceiling.
- Custom automated shades and draperies.
- Custom Italian plaster.
- Real ¾" stained oak flooring.

PRIMARY BATHROOM 1 ON LOWER LEVEL

- Four slabs Calacatta gold marble book-matched shower walls and tub.
- Matching hand carved book with crown and base molding.
- Juliette® floating tub under arch with custom art glass windows.
- Schonbek® crystal chandeliers and sconces.
- Lutron® lighting.
- Kallista® hardware and sinks.
- Built in Seura® "Mirror TV's".
- White Thassos® marble floors with Calacatta gold and brass accented inset design.
- Custom Braams® vanity with absolute black granite tops.

- Neorest® automatic and heated commode.
- Kallista® bidet.

EXTERIOR UPGRADED FEATURES

- Custom hand carved Limestone cartouche and accents by Italian marble artist.
- Custom Italian marble, plus carved Marble loggia fireplace.
- Shell stone loggia and pool deck.
- Custom wrought iron railings and gates.
- 16-gauge copper gutters and fascia accents.
- Custom walnut wood ceilings on loggias.
- Custom hurricane rated carriage style garage doors.
- Custom entry cellular call gate system installed in 2022.
- Custom outdoor lighting.
- Natural gas hook-up extension to property.
- Gas pool heater new in 2022.
- Whole house natural gas generator 60KW Kohler® installed in 2022.
- Commercial Wi-Fi network upgrade.
- Epoxy garage flooring new 2022.
- Azek® composite decking and designer lighting.
- Finished non-conforming space.
- Pool heater replaced in 2022.

OTHER FINE FINISHES

- Custom pearlized Venetian plaster barrel ceiling.
- Fortuny® lamps in den & kitchen.
- Lutron® controlled integrated LED lighting system.
- Schonbek® rock crystal chandeliers.
- Custom Venetian antiqued buttress accent ceiling with custom Venetian glass chandelier.
- Integrated task and spot lighting.
- Sonos® integrated ceiling speakers.
- Custom draperies and plantation shutters.
- Solid oak wood custom-stained floors.
- Custom hand-finished wrought iron railings.
- Custom Italian plaster wall finish.



CONGRATULATIONS TO THE

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Leah
George

Judy Kepez-Hays

Steven
Kepez

941-780-0597 941-587-1700 941-376-6411



3500 Bayou Louise Lane ensures an unparalleled waterfront living experience on Siesta Key.



This 6,300 sq. ft. home features a luxurious 40' x 20' pool plus spa, perfect for relaxing and taking in the scenic waterfront views.



The home's oversized living room, complete with a large fireplace, offers a spacious and elegant setting for relaxation and entertainment.

3500 Bayou Louise Lane

Siesta Key, Florida 34242

General Home Updates & Features

- 100 ft+ of Gulf of Mexico blue water frontage.
- Riprap Seawall.
- Grass area lot on one of the most coveted locations on Siesta Key, Big Pass at the mouth of the Gulf of Mexico.
- Half acre+ lot.
- 6300 sq. ft. under air - 8,200 sq. ft. total (based on home plans).
- 5 En-Suite bedrooms with elevator access.
- 5 full bathrooms and 1 half bathroom.
- Designer Clive Christian cabinetry in Chef's Kitchen.
- Designer primary bath with Italian Calacatta gold book-matched slab walls with hand-carved moldings.
- Custom walnut library and hand-finished dining room.
- 40' x 20' with natural gas heated custom swimming pool with infinity edge whirlpool.
- 4 car garage with epoxy floor, storage, and 2 Tesla chargers.
- Exercise and game room.
- Split storage space.
- Private gated elegant circular motor court with tumbled pavers and fountain.
- Copper & brass landscape lighting.
- Flagstone pathways and garden areas.
- Custom outdoor kitchen with Bakers Pride Pizza Oven and entertaining bar.
- Expansive tiered loggias off the kitchen, living room, and primary bedroom.

Interior Upgrades

- Sanos™ Sound System throughout the home, loggia, and pool deck.
- Lutron™ Lighting Control System and LED lighting upgrades throughout.
- Custom Italian & Venetian plaster throughout the home.
- Three gas fireplaces: one in the library with a solid walnut mantle, one in the living room with a custom limestone mantle, and one on the terrace.
- ¾" Solid custom oak-stained flooring with custom quarter-sawn accents.
- Custom crown molding and solid core doors throughout the home with original Baldwin Hardware.
- Pozzi™ Custom impact/Low E™ double pane windows.
- Carriage-style hurricane-rated garage doors.
- Custom entry cellular call gate system.
- Hardwired security alarm system.

- Hardwired camera security system.
- Custom drapery and blinds throughout the home.
- Custom whole house water system installed in 2022.
- New custom irrigation well with a filter system.
- 200-gallon propane tank.
- 200-gallon water heater.
- Waupaca™ Estate elevator.
- Custom wrought iron throughout the home.
- 400 bottle climate-controlled wine cellar with Split X™ Cooling System.
- Custom murals for the wine cellar.
- Central vacuum system.
- Beautiful custom contemporary leaded glass accents throughout home.

Exterior Upgraded Features

- Custom hand carved Limestone cartouche and accents by Italian marble artist.
 - Custom Italian marble, plus carved Marble loggia fireplace.
 - Shell stone loggia and pool deck.
 - Custom wrought iron railings and gates.
 - 16-gauge copper gutters and fascia accents.
 - Custom walnut wood ceilings on loggias.
 - Custom hurricane-rated carriage-style garage doors.
 - Custom entry cellular call gate system installed in 2022.
 - Custom outdoor lighting.
 - Natural gas hook-up extension to property.
 - Gas pool heater new in 2022.
 - Whole house natural gas generator 60KW Kohler™ installed in 2022.
 - Commercial Wi-Fi network upgrade.
 - Epoxy garage flooring new 2022.
 - Azek™ composite decking and designer lighting.
- Finished non-conforming space.
- Whole house water filtration system.
 - HVAC and hot water heater - new in 2023.
 - Washer and dryer - new in 2023.
 - Pool heater replaced in 2022.

Custom Chef's Kitchen Features

- Custom made cabinetry hand painted and finished with silver shadow accents.
- Clive Christian™ Signature Continental mantle with custom Viking hood.
- Clive Christian™ Signature end panels and shadow line patented crown design.
- Pull-out maple cabinet with Clive Christian™ signature edge.
- Signature Clive Christiansen™ pewter lion logo cabinet knobs.
- Integrated Rohl™ copper stainless steel prep sink with Roh™ faucets and hardware.
- Large deep Rohl™ copper stainless steel work sink with Roh™ faucets and hardware.

Slab Marble and Granite Counters

- 3 architectural statuary slabs marble.
- Custom matching marble moldings.
- Hidden integrated LeGrande™ system under cabinet and Lew™ pop-up electrical Outlet.
- "Absolute Black" granite slab counters with ogee double edge-four slabs.

Chef & Bakers' Entertaining Kitchen Functional Work Zones

- Chef area includes six burners and infrared griddle Wolf™ gas range with two ovens and Rohl™ pot filler with custom integrated Viking™ hood ventilation system.
- Integrated Sub Zero™ refrigeration, freezer, and dishwasher for each zone.
- Integrated chef's spice and storage area.
- Baker's area includes Miele™ steam and convection ovens.
- Butler's pantry area includes 84" H glass panel Subzero™ refrigerator and freezer drawer.
- Pantry area features ceiling with hand-painted and aged and custom Murano glass chandelier.

Family/ Entertaining Kitchen Area

- 16-foot solid Wenge counter with two Schonbek™ floating rock crystal chandeliers.
- Integrated Miele™ coffee station.
- Two Miele™ integrated dish drawers.
- Miele™ integrated microwave.
- Family entertainment area and breakfast nook.
- Adjoining outdoor loggia with dining area with outdoor kitchen.

Appliance List for Kitchen

- 48" Wolf™ gas range with 6 burners infrared griddle and two ovens.
- Integrated Viking™ hood.
- Fisher Paykel™ integrated dishwasher.
- Two Subzero™ refrigerator drawers.
- Two Subzero™ freezer drawers.
- 36 x 84 Subzero™ glass panel refrigerator with freezer.
- Miele™ convection oven.
- Two Miele™ warming drawers.
- Miele™ microwave.
- Miele™ coffee Station.

Custom Outdoor Kitchen

- Wolf™ outdoor barbecue grill with infrared burner and rotisserie oven.
- Wolf™ outdoor two burner stove top.
- Baker's Pride™ pizza oven.
- Entertaining custom swivel Brazilian Butterfly granite bar with integrated ice maker and sink.
- Locking under-counter glass panel refrigeration for beer and wine.

Other Fine Finishes

- Custom pearlized venetian plaster barrel ceiling.
- Lutron™ controlled integrated LED lighting system.
- Schonbek™ rock crystal chandeliers.
- Custom venetian antiqued buttress accent ceiling with custom venetian glass chandelier.

Integrated task and spot lighting.

- Sonos™ integrated ceiling speakers.
- Custom draperies and plantation shutters.
- Solid oak wood custom-stained floors.
- Custom hand-finished wrought iron railings.
- Custom Italian plaster wall finish.

Primary Bedroom Suite 1 on Lower level

- Newly renovated En-Suite.
- Private wing off the main floor.
- Private loggia overlooking Big Pass and the Gulf of Mexico.
- Walk-in custom closet.
- Lutron™ lighting with two Schonbek™ crystal chandeliers.
- Custom coffered wood ceiling.
- Custom automated shades and draperies.
- Custom Italian plaster.
- Real ¾" stained oak flooring.

Primary Bathroom 1 on Lower level

- Four slabs Calacatta gold marble book-matched shower walls and tub.
- Matching hand carved book with crown and base molding.
- Juliette™ floating tub under arch with custom art glass windows.
- Schonbek™ crystal chandeliers and sconces.
- Lutron™ lighting.
- Kallista™ hardware and sinks.
- Built in Seura™ "Mirror 1V's".
- White Thassos™ marble floors with Calacatta gold and brass accented inset design.
- Custom Brahm's™ vanity with absolute black granite tops.
- Neorest™ automatic and heated commode.
- Kallista™ bidet.

Library Upgrades and Features

- Custom walnut cabinetry & ceiling.
- Custom solid walnut mantle with gas fireplace.
- Leaded glass display shelves.
- French door and leaded glass sliders.
- Custom Lutron™ controlled LED lighting & accents.
- Custom draperies and stained plantation shutters.
- Sonos™ integrated sound system.
- Additional Frontier fiber optic data line for business privacy.

En-Suite Bedroom Upgrades and Features

- Private wing with private hallway, two additional closets for storage.
- Schumacher™ hand-made wallpaper in bathroom.
- Custom leaded glass window in shower for privacy.
- Emperador chocolate marble slab vanity with Braams™ cabinetry in bath.
- Solid oak flooring with hand-painted custom quarter sawn accents.
- Lutron™ controlled LED lighting system.

En Suite Powder Room Features

- Custom walnut curved vanity with floating handblown Coyote™ signed glass sink with Rohl™ fixtures.
- Custom curved Honey Onyx countertop.
- Shumacher™ Hand-made rice papered walls.
- Custom framed antiqued mirror with glass sconces.
- Custom Draperies.

Upstairs Living Quarters Upgrades and Features

- 3 en-suite bedrooms - 1 private suite with private elevator access.
- Walk-in custom closets.
- Custom New Zealand wool & silk runner.
- Custom art glass transoms to each bedroom.
- Wrought iron railings on the balcony.
- Custom built-in shelves with desk & daybed overlooking water - bedrooms 1 & 2.
- Ocean Views from every room.

Primary Bedroom Suite 2 Upgrades and Features

- Private seating area overlooking the Gulf of Mexico.
- Custom morning kitchen with built in Miele™ coffee station, built-in refrigerator, and freezer, Rohl™ copper stainless steel sink and hardware.
- Emperador™ chocolate marble bath and shower with inset marble design.
- Custom vanity and built in linen cabinet.
- Built in Seura™ "Mirror TV" above vanity.
- Additional sound proofing between walls.

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Auction Without Reserve • Monday, April 14 • 11 AM EDT • On Site • Remote Bidding Available



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PREVIEW SCHEDULE

Saturday, March 22, 1-4 PM	Sunday, March 23, 1-4 PM
Saturday, March 29, 1-4 PM	Sunday, March 30, 1-4 PM
Saturday, April 5, 1-4 PM	Sunday, April 6, 1-4 PM
Saturday, April 12, 1-4 PM	Sunday, April 13, 1-4 PM

Private preview appointments available on request.
Email or call Elite Auctions to schedule.

BROKER PARTICIPATION 2.5%

To pre-register to bid, please call 844.94.ELITE or email Bid@EliteAuctions.com

AUCTION

Monday, April 14 • 11 AM EDT
On Site
Registration begins at 10 AM



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